

Facility Condition Report

Prepared for:

Sample Deliverable 3

Prepared by:

Interstate Roof Systems Consultants, Inc. 16680 W. Cleveland Ave. Ste A, New Berlin, Wisconsin, 53151



Date: October 21, 2021

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Facility Summary

Facility:

Contact Name:

Contact Telephone:

Contact Cell Phone:

Contact Fax:

Date of last Inspection: June 01, 2021

Type of Building: School

Type of Neighborhood: Residential

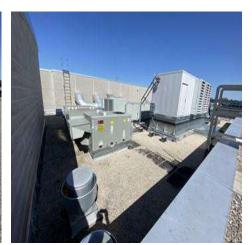


Asset Data Summary

	Roof Section List							
Section Name/ Description	Year Installed	Size (Sq.Ft.)/ Height (Ft)	System Type	Condition Index/ *RCI / ASLR(Yrs)	Estimated Replacement Cost			
1, 2, 4, 6, 7, 8	2002 (Known)	47,572.00 50.00	Built-up Asphalt 4ply gravel	Fair [55] 11 (Yrs)	\$1,094,156.00			











11, 12, & 13	2003	5,320.00	Built-up Asphalt 4ply	Fair [55]	\$122,360.00
	(Known)	40.00	gravel	12 (Yrs)	

Facility Condition Report Cedarburg High School



14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62

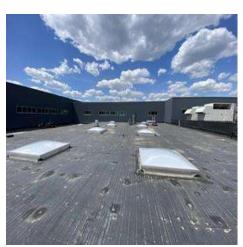
2020 (Known) 55,479.00 40.00

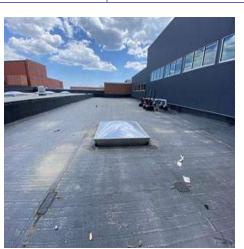
EPDM 60 Mil Fully Adhered

Excellent [95] 24 (Yrs)

\$721,227.00











17

1995 (Estimated) 40.00

1,220.00

EPDM 60 mil

Critical [10] -1 (Yrs)

\$15,860.00



18, 22, 23, 24, 25, 26, 27

2001 (Known) 30,710.00 40.00 Built-up Asphalt 4ply gravel

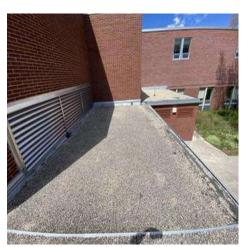
Fair [55] 10 (Yrs) \$706,330.00











19

1998 (Known) 17,073.00 40.00 Built-up Asphalt 4ply gravel

Fair [50] 7 (Yrs) \$392,679.00



20

2007 (Known) 14,065.00 40.00

Built-up Asphalt 4ply gravel

Fair [55] 16 (Yrs) \$323,495.00





21, 52, 53

2020 (Estimated) 30.00

6,508.00

EPDM 60 Mil Fully Adhered

Excellent [90] 24 (Yrs)

\$84,604.00







28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39

1996 (Known) 30,619.00 50.00

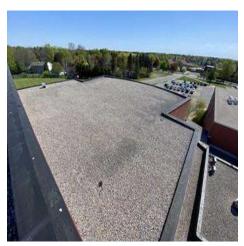
EPDM 45 Mil. Ballasted

Fair [55] 5 (Yrs)

\$398,047.00





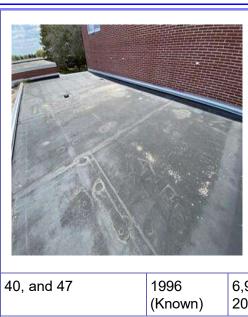






3 2002 2,060.00 Standing Seam Sheet Good [75] \$55,620.00 (Known) 40.00 Metal 21 (Yrs)









6,950.00 20.00 EPDM 45 Mil. Ballasted Good [56] 5 (Yrs)

\$90,350.00





43, 44, 44-A, 46

2000 (Known) 34,973.00 40.00 Built-up Asphalt 4ply gravel

<mark>Fair [55]</mark> 9 (Yrs)

\$804,379.00









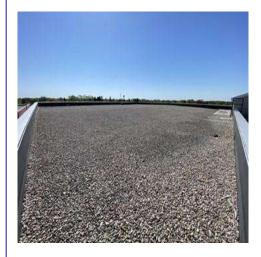
45 | 2017 | 4,990.00 | Built-up Asphalt 4ply | Good [60] | \$114,770.00 | Gravel | 26 (Yrs)



48 2015 4,420.00 EPDM 45 mil Fully Very Good [76] \$57,460.00 (Known) 30.00 Adhered 19 (Yrs)



5 2002 14,210.00 EPDM 60 mil - Good [65] \$213,150.00 (Known) 30.00 Ballasted 6 (Yrs)



9, 10, 41, 42, 49	1999	27,117.00	Built-up Asphalt 4ply	Fair [55]	\$623,691.00
	(Known)	30.00	gravel	8 (Yrs)	









Total (sq.Ft.): 304,646.00

Total: \$5,

\$5,835,858.00

Recommendations Summary

	Roof Recommendation Summary								
Section Name	Budget Year	Activity Type	Action Item?	Allocation	Urgency	Budget Amount			
1, 2, 4, 6, 7, 8	2021	Preventive Maintenance	Yes	Expense	High	\$10,000.00			
1, 2, 4, 6, 7, 8	2022	Inspection and IMS	Yes	Expense	Medium	\$6,000.00			
1, 2, 4, 6, 7, 8	2022	Preventive Maintenance	Yes	Expense	Medium	\$2,500.00			
1, 2, 4, 6, 7, 8	2023	Inspection and IMS	Yes	Expense	Medium	\$6,500.00			
1, 2, 4, 6, 7, 8	2023	Preventive Maintenance	Yes	Expense	Medium	\$2,500.00			

	1	1				
1, 2, 4, 6, 7, 8	2024	Inspection and IMS	Yes	Expense	Medium	\$7,000.00
1, 2, 4, 6, 7, 8	2024	Preventive Maintenance	Yes	Expense	Medium	\$2,500.00
1, 2, 4, 6, 7, 8	2025	Inspection and IMS	Yes	Expense	Medium	\$7,000.00
1, 2, 4, 6, 7, 8	2025	Preventive Maintenance	Yes	Expense	Medium	\$2,500.00
11, 12, & 13	2021	Preventive Maintenance	Yes	Expense	High	\$8,000.00
11, 12, & 13	2022	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
11, 12, & 13	2023	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
11, 12, & 13	2024	Preventative Maintenance	Yes	Expense	Medium	\$1,500.00
11, 12, & 13	2025	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62	2021	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62	2022	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62	2023	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62	2024	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62	2025	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
17	2021	Roof Replacement	Yes	Capital	High	\$15,860.00
17	2022	Preventive Maintenance	Yes	Expense	Medium	\$500.00
17	2023	Preventive Maintenance	Yes	Expense	Medium	\$500.00
17	2024	Preventive Maintenance	Yes	Expense	Medium	\$500.00
17	2025	Preventive Maintenance	Yes	Capital	Medium	\$500.00

18, 22, 23, 24, 25, 26, 27	2021	Preventive Maintenance	Yes	Expense	High	\$10,000.00
18, 22, 23, 24, 25, 26, 27	2022	Preventive Maintenance	Yes	Expense	Medium	\$2,500.00
18, 22, 23, 24, 25, 26, 27	2023	Preventive Maintenance	Yes	Expense	Medium	\$2,500.00
18, 22, 23, 24, 25, 26, 27	2024	Preventive Maintenance	Yes	Expense	Medium	\$2,500.00
18, 22, 23, 24, 25, 26, 27	2025	Preventive Maintenance	Yes	Expense	Medium	\$2,500.00
19	2021	Preventive Maintenance	Yes	Expense	High	\$6,500.00
19	2022	Preventive Maintenance	Yes	Expense	Medium	\$750.00
19	2023	Preventive Maintenance	Yes	Expense	Medium	\$750.00
19	2024	Preventive Maintenance	Yes	Expense	Medium	\$750.00
19	2025	Preventive Maintenance	Yes	Expense	Medium	\$750.00
20	2021	Preventive Maintenance	Yes	Expense	High	\$5,000.00
20	2022	Preventive Maintenance	Yes	Expense	Medium	\$750.00
20	2023	Preventive Maintenance	Yes	Expense	Medium	\$750.00
20	2024	Preventive Maintenance	Yes	Expense	Medium	\$750.00
20	2025	Preventive Maintenance	Yes	Expense	Medium	\$750.00
21, 52, 53	2021	Preventive Maintenance	Yes	Expense	Low	\$500.00
21, 52, 53	2022	Preventive Maintenance	Yes	Expense	Medium	\$500.00
21, 52, 53	2023	Preventive Maintenance	Yes	Expense	Medium	\$500.00
21, 52, 53	2024	Preventive Maintenance	Yes	Expense	Medium	\$500.00
21, 52, 53	2025	Preventive Maintenance	Yes	Expense	Medium	\$500.00
28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39	2021	Preventive Maintenance	Yes	Expense	High	\$7,500.00

28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39	2022	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39	2023	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39	2024	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39	2025	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
3	2021	Preventive Maintenance	Yes	Expense	High	\$1,000.00
3	2022	Preventive Maintenance	Yes	Expense	Medium	\$300.00
3	2023	Preventive Maintenance	Yes	Expense	Medium	\$300.00
3	2024	Preventive Maintenance	Yes	Expense	Medium	\$300.00
3	2025	Preventive Maintenance	Yes	Expense	Medium	\$300.00
36, & 50	2021	Annual Roof Survey	Yes	Capital	High	\$17,680.00
36, & 50	2022	Preventive Maintenance	Yes	Expense	Medium	\$500.00
36, & 50	2023	Preventive Maintenance	Yes	Expense	Medium	\$500.00
36, & 50	2024	Preventive Maintenance	Yes	Expense	Medium	\$500.00
36, & 50	2025	Preventive Maintenance	Yes	Expense	Medium	\$500.00
40, and 47	2021	Preventive Maintenance	Yes	Expense	High	\$2,000.00
40, and 47	2022	Preventive Maintenance	Yes	Expense	Medium	\$500.00
40, and 47	2023	Preventive Maintenance	Yes	Expense	Medium	\$500.00
40, and 47	2024	Preventive Maintenance	Yes	Expense	Medium	\$500.00
40, and 47	2025	Preventive Maintenance	Yes	Expense	Medium	\$500.00
43, 44, 44-A, 46	2021	Preventive Maintenance	Yes	Expense	High	\$15,000.00

43, 44, 44-A, 46	2022	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
43, 44, 44-A, 46	2023	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
43, 44, 44-A, 46	2024	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
43, 44, 44-A, 46	2025	Preventive Maintenance	Yes	Expense	Medium	\$1,000.00
45	2021	Preventive Maintenance	Yes	Expense	Medium	\$200.00
45	2022	Preventive Maintenance	Yes	Expense	Medium	\$200.00
45	2023	Preventive Maintenance	Yes	Expense	Medium	\$200.00
45	2024	Preventive Maintenance	Yes	Expense	Medium	\$200.00
45	2025	Preventive Maintenance	Yes	Expense	Medium	\$200.00
48	2021	Preventive Maintenance	Yes	Expense	Low	\$300.00
48	2022	Preventive Maintenance	Yes	Expense	Medium	\$300.00
48	2023	Preventive Maintenance	Yes	Expense	Medium	\$300.00
48	2024	Preventive Maintenance	Yes	Expense	Medium	\$300.00
48	2025	Preventive Maintenance	Yes	Expense	Medium	\$300.00
5	2021	Preventive Maintenance	Yes	Expense	High	\$1,000.00
5	2022	Preventive Maintenance	Yes	Expense	Medium	\$300.00
5	2023	Preventive Maintenance	Yes	Expense	Medium	\$300.00
5	2024	Preventive Maintenance	Yes	Expense	Medium	\$300.00
5	2025	Preventive Maintenance	Yes	Expense	Medium	\$300.00
9, 10, 41, 42, 49	2021	Preventive Maintenance	Yes	Expense	High	\$20,000.00
9, 10, 41, 42, 49	2022	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00

9, 10, 41, 42, 49	2023	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
9, 10, 41, 42, 49	2024	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00
9, 10, 41, 42, 49	2025	Preventive Maintenance	Yes	Expense	Medium	\$1,500.00

Budget Summary

	Roof Financial Plan- Capital Budget (5 Years)							
Section Name	2021	2022	2023	2024	2025			
17	\$15,860.00	\$0.00	\$0.00	\$0.00	\$500.00			
36, & 50	\$17,680.00	\$0.00	\$0.00	\$0.00	\$0.00			
Total	\$33,540.00	\$0.00	\$0.00	\$0.00	\$500.00			

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 17 Date: October 21, 2021

	Roof Fin	ancial Plan- E	xpense Budge	t (5 Years)	
Section Name	2021	2022	2023	2024	2025
1, 2, 4, 6, 7, 8	\$10,000.00	\$8,500.00	\$9,000.00	\$9,500.00	\$9,500.00
11, 12, & 13	\$8,000.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00
17	\$0.00	\$500.00	\$500.00	\$500.00	\$0.00
18, 22, 23, 24, 25, 26, 27	\$10,000.00	\$2,500.00	\$2,500.00	\$2,500.00	\$2,500.00
19	\$6,500.00	\$750.00	\$750.00	\$750.00	\$750.00
20	\$5,000.00	\$750.00	\$750.00	\$750.00	\$750.00
21, 52, 53	\$500.00	\$500.00	\$500.00	\$500.00	\$500.00
28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39	\$7,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
3	\$1,000.00	\$300.00	\$300.00	\$300.00	\$300.00
36, & 50	\$0.00	\$500.00	\$500.00	\$500.00	\$500.00
40, and 47	\$2,000.00	\$500.00	\$500.00	\$500.00	\$500.00
43, 44, 44-A, 46	\$15,000.00	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00
45	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00
48	\$300.00	\$300.00	\$300.00	\$300.00	\$300.00
5	\$1,000.00	\$300.00	\$300.00	\$300.00	\$300.00
9, 10, 41, 42, 49	\$20,000.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
Total	\$88,000.00	\$22,100.00	\$22,600.00	\$23,100.00	\$22,600.00

	Roof F	inancial Plan-	Total Budget ((5 Years)	
Section Name	2021	2022	2023	2024	2025
1, 2, 4, 6, 7, 8	\$10,000.00	\$8,500.00	\$9,000.00	\$9,500.00	\$9,500.00
11, 12, & 13	\$8,000.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00
17	\$15,860.00	\$500.00	\$500.00	\$500.00	\$500.00
18, 22, 23, 24, 25, 26, 27	\$10,000.00	\$2,500.00	\$2,500.00	\$2,500.00	\$2,500.00
19	\$6,500.00	\$750.00	\$750.00	\$750.00	\$750.00
20	\$5,000.00	\$750.00	\$750.00	\$750.00	\$750.00
21, 52, 53	\$500.00	\$500.00	\$500.00	\$500.00	\$500.00
28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39	\$7,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
3	\$1,000.00	\$300.00	\$300.00	\$300.00	\$300.00
36, & 50	\$17,680.00	\$500.00	\$500.00	\$500.00	\$500.00
40, and 47	\$2,000.00	\$500.00	\$500.00	\$500.00	\$500.00
43, 44, 44-A, 46	\$15,000.00	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00
45	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00
48	\$300.00	\$300.00	\$300.00	\$300.00	\$300.00
5	\$1,000.00	\$300.00	\$300.00	\$300.00	\$300.00
9, 10, 41, 42, 49	\$20,000.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
Total	\$121,540.00	\$22,100.00	\$22,600.00	\$23,100.00	\$23,100.00

Asset Section Detail

Roof Section Details

Roof Section Name: 1, 2, 4, 6, 7, 8

Existing System Type: Built-up Asphalt 4ply gravel

Size: 47,572.00 sq. ft.

Height: 50 Ft.

Estimated Replacement

\$1,094,156.00 Cost:

Year Installed: 2002 (Known)

Assessed Service Life

Remaining (Years):

Age: 19

Planned Replacement 2032

Year:

Slope: Low Slope

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

RCI: 55

Condition: Fair

Roof Access: Penthouse Door

Notes: Roof systems drains via seventeen (17) internal roof drains.





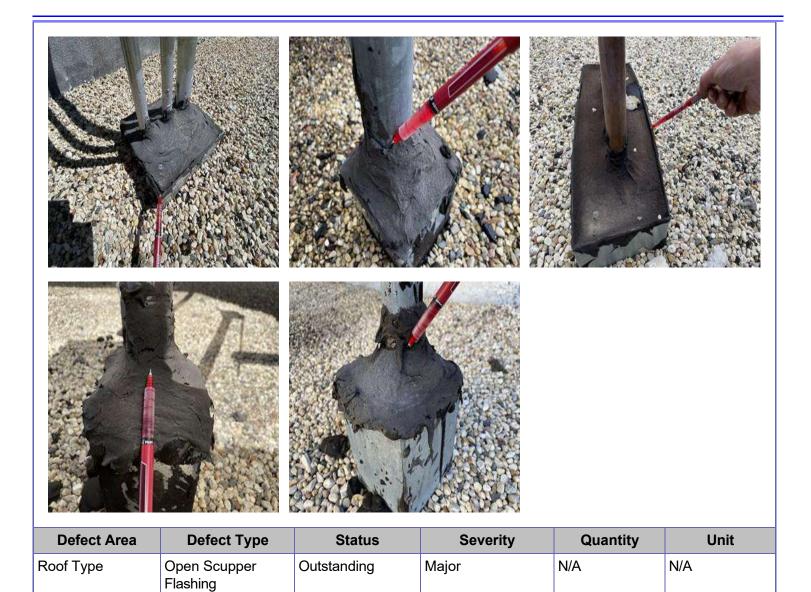
Existing Roof System Construction			Section: 1, 2, 4, 6, 7, 8		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment	
1	Component Type	Roof Decks	Concrete	Unknown	
2	Component Type	Vapor Retarders	Bituminous Felt	Hot Mopped	
3	Component Type	Roof Insulation	2.5" Polyisocyanurate	Laid in place	
4	Component Type	Roof Insulation	2.5" Polyisocyanurate	Laid in place	
5	Component Type	Roof Insulation	1" Perlite	Hot Mopped	
6	Roof Type	Built-Up Roof	Built-up Asphalt 4ply gravel	Hot Mopped	





Roof System Notes: Two (2) test core samples were taken at the roof drain (low point, 3.0") and the roof system's perimeter (high point, 7.0").

Roof Defects Section: 1, 2, 4, 6, 7							
Defect Area	Defect Type	Status	Severity	Quantity	Unit		
Roof Type	Open Pitch Pan	Outstanding	Major	N/A	N/A		
Notes: Open pitch	Notes: Open pitch pocket flashings throughout the roof system.						



Notes: Open scupper flashings at scupper flashing flange.



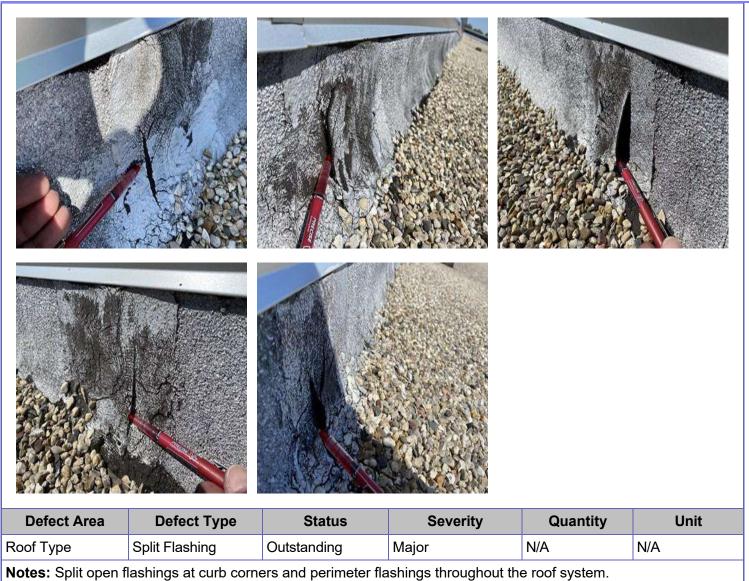


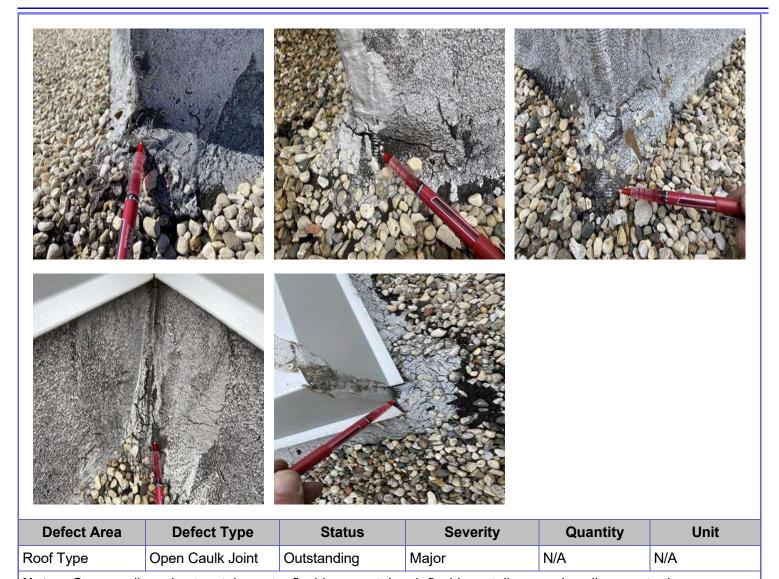




Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Flashing Seams	Outstanding	Major	N/A	N/A

Notes: Open perimeter end lap flashings throughout the roof systems.





Notes: Open caulk seals at metal counter flashings, metal curb flashings, tall cone rain collar penetrations, throughout the roof systems.



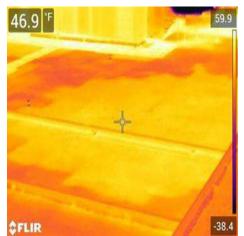
Roof Inspections				Section: 1	2, 4, 6, 7, 8
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	55

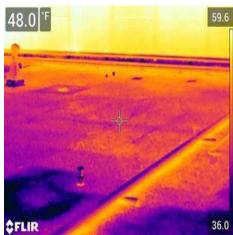
Notes: Overall this roof system is in "Fair" condition with a Roof Condition Index (RCI) rating of 55. IRSC observed the following defects, open pitch pocket flashings, open perimeter end lap flashings, split open flashings at curb corners and perimeter flashings, open caulk seals at metal counter flashings, metal curb flashings, tall cone rain collar penetrations. IRSC performed a infrared moisture survey and observed one (1) anomalies. IRSC performed test core samples at these locations and observed wet insulation. With repairs completed to defects observed it would increase the RCI to 65 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

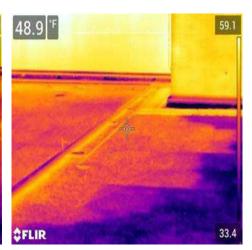
Roof Surveys				Section : 1	1, 2, 4, 6, 7, 8
Survey Type	Start Date	End Date	Company	Size	Unit

Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	2,750	sq. ft.
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Notes: Anomaly (A#-36) 2,750 sqft No test cut made on anomaly.







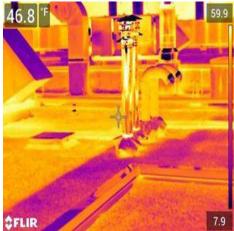


Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof	2,250	sq. ft.
			Systems Consultants,		
			Inc.		

Notes: Anomaly (A#-37) 2,250 sqft

Test cut made showed moisture/water in roof system.









Infared & Cut Tests

05/13/2021

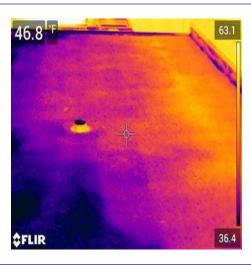
05/13/2021

Interstate Roof Systems Consultants, Inc.

480

sq. ft.

Notes: Anomaly (A#-38) 480 sqft No test cut made on anomaly.





Roof Recommo		Allo action Trees		on : 1, 2, 4, 6, 7, 8
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Preventive Maintenance	Expense Budget	Recommended	\$10,000.00
Notes:				
flashing flangeRep flashingsRepair op	air open perimeter end l en caulk seals at metal (ap flashingsRepair sp counter flashings, metal	gsRepair open scuppe blit open flashings at curb curb flashings, tall cone imately 480 SqFt (Roof	o corners and perimete rain collar
2022	Preventive Maintenance	Expense Budget	Recommended	\$2,500.00
Notes: Perform annı	ual preventive maintenar	ce.		
2022	Inspection and IMS	Expense Budget	Recommended	\$6,000.00
oof at this facility.			ms. Inspection costs list	T
2023	Preventive Maintenance	Expense Budget	Recommended	\$2,500.00
Notes: Perform annı	ual preventive maintenan	ce.		_
2023	Inspection and IMS	Expense Budget	Recommended	\$6,500.00
roof at this facility.	T		ms. Inspection costs list	1
2024	Preventive Maintenance	Expense Budget	Recommended	\$2,500.00
Notes: Perform annu	ual preventive maintenan	ce.		
2024	Inspection and IMS	Expense Budget	Recommended	\$7,000.00
Notes: Perform annual inspersoof at this facility.	ection and infrared surve	ey of existing roof syster	ms. Inspection costs list	ed are for all sections c
	Preventive Maintenance	Expense Budget	Recommended	\$2,500.00
2025	Wall to laile			
	ual preventive maintenar	ce.		
		ce. Expense Budget	Recommended	\$7,000.00

Roof Section Details

Roof Section Name: 11, 12, & 13

Existing System Type: Built-up Asphalt 4ply gravel

Size: 5,320.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost: \$122,360.00

Year Installed: 2003 (Known)

Assessed Service Life 1

Remaining (Years):

Age: 18

Planned Replacement

Year: 2033

Slope: Low Slope

Drainage: Adequate

Currently Leaking? Yes

History of Leaking? Unknown

Condition: Fair

RCI:

Roof Access: Penthouse Door

55

Notes: Roof system drains via two (2) internal roof drains.



Existing Roof System Construction			Section: 11, 12, & 13		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment	
1	Component Type	Roof Decks	Metal	Unknown	
2	Component Type	Roof Insulation	1.5" Polyisocyanurate	Laid in place	
3	Component Type	Roof Insulation	1.5" Polyisocyanurate	Laid in place	
4	Component Type	Roof Insulation	2" Perlite	Laid in place	
5	Component Type	Roof Insulation	1" Perlite	Laid in place	
6	Roof Type	Built-Up Roof	Built-up Asphalt 4ply gravel	Hot Mopped	





Roof System Notes:

Two (2) test core samples were taken at the roof drain (low point, 4.0") and the roof system's perimeter (high point, 6.0").

Roof Defects Section: 11, 12					
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Abandoned Rooftop Penetrations	Outstanding	Major	N/A	N/A

Prepared By: Interstate Roof Systems Consultants, Inc. Date: October 21, 2021 Page: 31

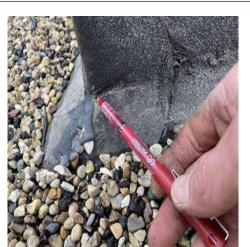


Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open corner flashing	Outstanding	Major	N/A	N/A

Notes: Open corner flashings at curb penetrations throughout the roof systems.











Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Expansion Joint Seams	Outstanding	Major	N/A	N/A

Notes: Open flashings at expansion joint lap throughout the expansion flashings.







Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Pitch Pan	Outstanding	Major	N/A	N/A

Notes: Open pitch pocket flashings throughout the roof systems.



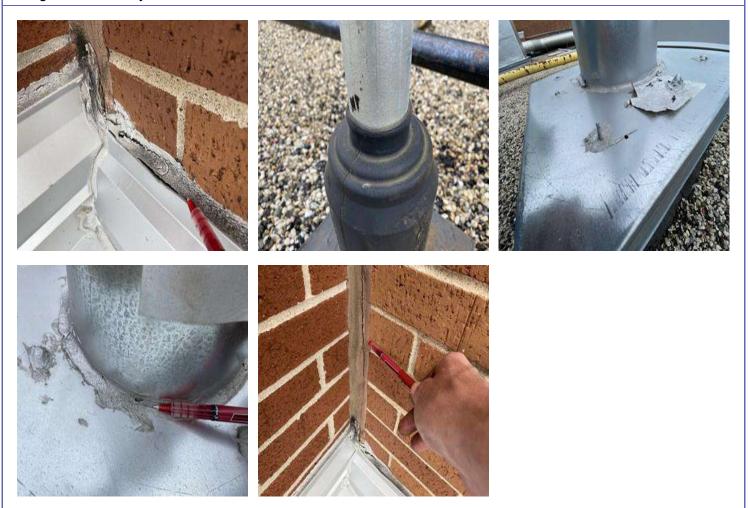






Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Caulk Joint	Outstanding	Major	N/A	N/A

Notes: Open caulk joint at metal counter flashings, tall cone flashings, masonry corner joint, boot flashings throughout the roof systems.



Roof Inspection	S			Section: 11, 12, & 13		
Inspection Type	Start Date	End Date	Company	Inspector	Condition	
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	55	

Notes: Overall this roof system is in "Fair" condition, with a Roof Condition Index (RCI) rating of 55. IRSC observed the following defects, open pitch pocket flashings, open perimeter end lap flashings, split open flashings at curb corners and perimeter flashings, open flashings at expansion joint lap, open caulk seals at metal counter flashings, metal curb flashings, tall cone rain collar penetrations. Also observed abandoned curb penetration covered with a concrete paver. IRSC performed a infrared moisture survey and observed two (2) anomalies. IRSC performed test core samples at these locations and observed wet insulation. With repairs completed to defects observed it would increase the RCI to 65 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Surveys				Section: 11, 12, & 13		
Survey Type	Start Date	End Date	Company	Size	Unit	
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	35	sq. ft.	

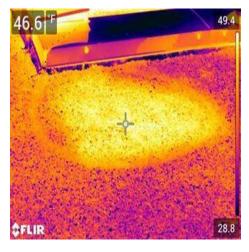
Notes: Anomaly (A#-39) 35 sqft No test cut made on anomaly.





Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof	9	sq. ft.
			Systems Consultants,		
			Inc.		

Notes: Anomaly (A#-40) 9 sqft No test cut made on anomaly.





Budget Year 2021 Prever Mainte Notes: Recommended Repair	enance Exp	Allocation Type pense Budget	Status Recommended	Budget Cost \$8,000.00
Mainte	enance	pense Budget	Recommended	\$8,000.00
Notes: Recommended Repai	rs for 2021.			
-Install metal cap at abandone -Repair open pitch pocket flas -Repair open flashings at expa -Repair open perimeter end la	hings. ansion joint.	tion.		

		3 /	J ,	
-Remove and	replace wet insulation	observed approximately:	44 SgFt (Roof Area 1)	1)

tive nance tive maintenar tive nance tive maintenar	Expense Budget	Recommended	\$1,500.00 \$1,500.00
tive nance	Expense Budget	Recommended	\$1,500.00
nance		Recommended	\$1,500.00
tive maintenar	nce.		
tative nance	Expense Budget	Recommended	\$1,500.00
tive maintenar	nce.		
tive nance	Expense Budget	Recommended	\$1,500.00
1	nance tive maintenal tive nance	tive maintenance. Expense Budget mance	tive maintenance. Expense Budget Recommended

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 36 Date: October 21, 2021

Roof Section Details

Roof Section Name: 14, 16, 51, 54, 55, 56, 57, 58, 59,

60, 61, & 62

Existing System Type: EPDM 60 Mil Fully Adhered

Size: 55,479.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost:

\$721,227.00

Year Installed: 2020 (Known)

Assessed Service Life Remaining (Years): 24

Age: 1

Planned Replacement

Year: 2045

Slope: Low Slope

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

RCI: 95

Condition: Excellent

Roof Access: Penthouse Door

Notes: Roof system drains via twenty three (23) internal roof drains.





Existing Roof System Construction			Section: 14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment	
1	Roof Type	Elastomeric-Single-Ply	EPDM 60 Mil Fully Adhered	Adhered	

Roof Inspections		Section: 14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, & 62				
Inspection Type	Start Date	End Date	Company	Inspector	Condition	
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	95	

Notes: Overall this roof system is in "Excellent" condition with a Roof Condition Index (RCI) rating of 95. IRSC observed no defects. IRSC performed a infrared moisture survey and observed zero (0) anomalies. IRSC recommends yearly preventive maintenance. With yearly preventive maintenance these roof should continue to perform the remainder of its life expectancy.

Roof Recommendations		Section : 14, 16, 51, 54, 55, 56, 57, 58, 59, 60, 61, 8			
Budget Year	Activity Type	Allocation Type	Status	Budget Cost	
2021	Preventive Maintenance	Expense Budget	Recommended	\$1,000.00	
Notes: Perform annua	l preventive maintenanc	e.			
2022	Preventive Maintenance	Expense Budget	Recommended	\$1,000.00	
Notes: Perform annua	l preventive maintenanc	e.			
2023	Preventive Maintenance	Expense Budget	Recommended	\$1,000.00	
Notes: Perform annua	l preventive maintenanc	e.			
2024	Preventive Maintenance	Expense Budget	Recommended	\$1,000.00	
Notes: Perform annua	l preventive maintenanc	e.			
2025	Preventive Maintenance	Expense Budget	Recommended	\$1,000.00	
Notes: Perform annua	l preventive maintenanc	e.			

Roof Section Details

Roof Section Name: 17

Existing System Type: EPDM 60 mil

Size: 1,220.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost: \$15,860.00

Year Installed: 1995 (Estimated)

Assessed Service Life

Remaining (Years):

Age: 26

Planned Replacement

Year: 2020

Slope: Tapered Insulation

Drainage: Adequate

Currently Leaking? Unknown

History of Leaking? Unknown

RCI: 10

Condition: Critical

Roof Access: Penthouse Door

Notes: Roof system drains via one (1) internal roof drain located at the center of the roof

system.



Existing Ro	Section: 17			
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Concrete	Unknown
2	Component Type	Roof Insulation	Tapered Asphaltic Fill	Poured - in - place
3	Roof Type	Built-Up Roof	Built-up Asphalt 4ply smooth	Hot Mopped
4	Component Type	Roof Insulation	1/2" Wood Fiberboard	Mechanically Fastened/Attached
5	Roof Type	Elastomeric-Single-Ply	EPDM 60 mil	Fully Adhered



Roof System Notes: Two (2) test core samples were taken at the roof drain (low point 3.0") and the roof system's perimeter (high point 4.5").

Roof Defects					Section: 17	
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Hole - Membrane	Outstanding	Major	N/A	N/A	
Notes: IRSC observed holes in the field membrane throughout the roof system.						







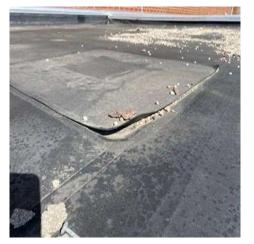


Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Patch - Failure	Outstanding	Major	N/A	N/A

Notes: Lifting seams at field membrane patches.







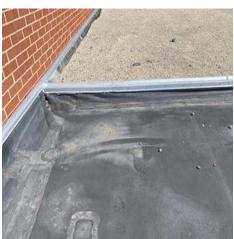
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Loose Membrane	Outstanding	Major	N/A	N/A

Notes: Loose/bridged field and flashing membrane throughout the roof system.





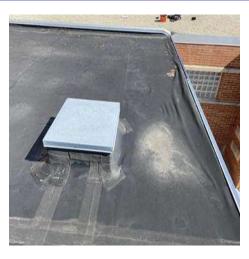






Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Abandoned Curbs	Outstanding	Major	2	Ea.

Notes: Two (2), 2'x2' discontinued abandoned curb penetrations.





Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Debris	Outstanding	Major	N/A	N/A	
Notes: Masonry debris and stone aggregate lying on roof membrane.						



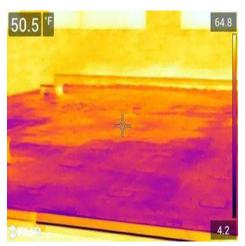


Roof Inspection	Section: 17				
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	10

Notes: Overall this roof is failing and in critical condition. IRSC observed multiple holes in the EPDM field membrane. IRSC also observed failing perimeter and curb flashings, lifting field seams and target patches throughout the roof system. IRSC performed a infrared moisture survey and observed two (2) anomalies. IRSC performed test core samples at these locations and observed wet insulation.

Roof Surveys Section						
Survey Type	Start Date	End Date	Company	Size	Unit	
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	609	sq. ft.	

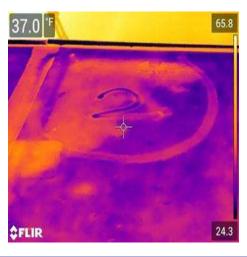
Notes: Anomaly (A#-1) 608 sqft No test cut made on anomaly.





Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof	16	sq. ft.
			Systems Consultants,		
			Inc.		

Notes: Anomaly (A#-2) 16 sqft No test cut made on anomaly.





Roof Recomme	endations			Section : 17
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Roof Replacement	Capital Budget	Recommended	\$15,860.00
Notes:				
Recommended roof r	eplacement.			
2022	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes:				
Perform annual preve	ntive maintenance.			
2023	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes:				
Perform annual preve	ntive maintenance.			
2024	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes:				
Perform annual preve	ntive maintenance.			
2025	Preventive Maintenance	Capital Budget	Recommended	\$500.00
Notes:			1	
Perform annual preve	ntive maintenance.			

Roof Section Details

Roof Section Name: 18, 22, 23, 24, 25, 26, 27

Existing System Type: Built-up Asphalt 4ply gravel

Size: 30,710.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost: \$706,330.00

Year Installed: 2001 (Known)

Assessed Service Life

Remaining (Years):

Age: 20

Planned Replacement

Year: 2031

Slope: Low Slope

Drainage: Adequate

Currently Leaking? Yes

History of Leaking? Unknown

RCI:

Condition: Fair

Roof Access: Penthouse Door

55

Notes: Roof systems drain via twelve (12) internal roof drains.





Existing Roof System Construction			Section: 18, 22, 23, 24, 25, 26, 27		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment	
1	Component Type	Roof Decks	Metal	Unknown	
2	Component Type	Vapor Retarders	Visquenn/ Plastic Sheeting	Laid - in - place	
3	Component Type	Roof Insulation	2" Polyisocyanurate	Hot Mopped	
4	Component Type	Roof Insulation	4" Polyisocyanurate	Hot Mopped	
5	Component Type	Roof Insulation	1" Perlite	Hot Mopped	
6	Roof Type	Built-Up Roof	Built-up Asphalt 4ply gravel	Hot Mopped	





Roof System Notes: Two (2) test core samples were taken at the roof drain (low point, 3.5") and the roof system's perimeter (high point, 8.0").

Roof Defects Section: 18, 22, 23, 24, 25, 26, 27						
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Open Flashing	Outstanding	Major	N/A	N/A	
Notes: Open flashing at parapet wall flashings.						











Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Pitch Pan	Outstanding	Major	N/A	N/A

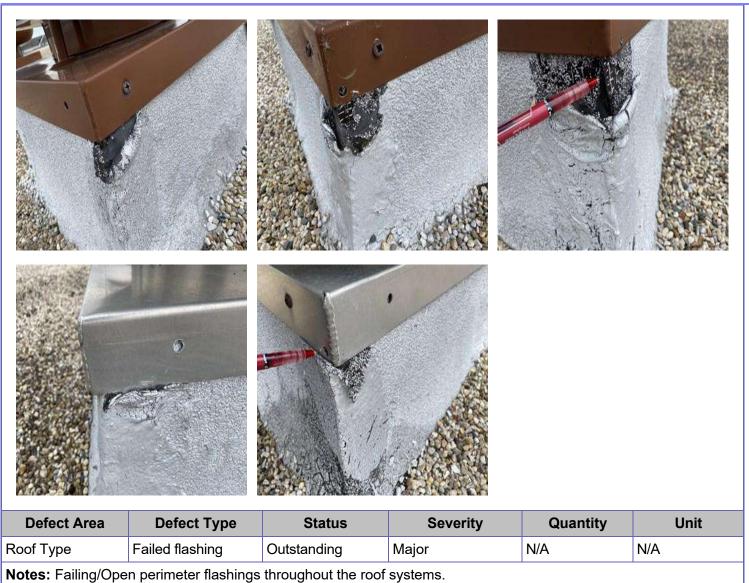
Notes: Open pitch pocket flashings throughout the roof system.

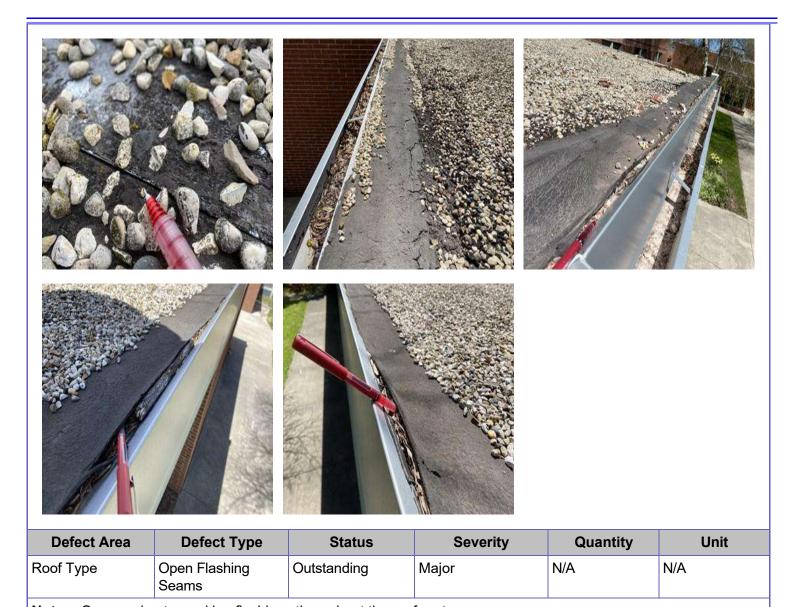




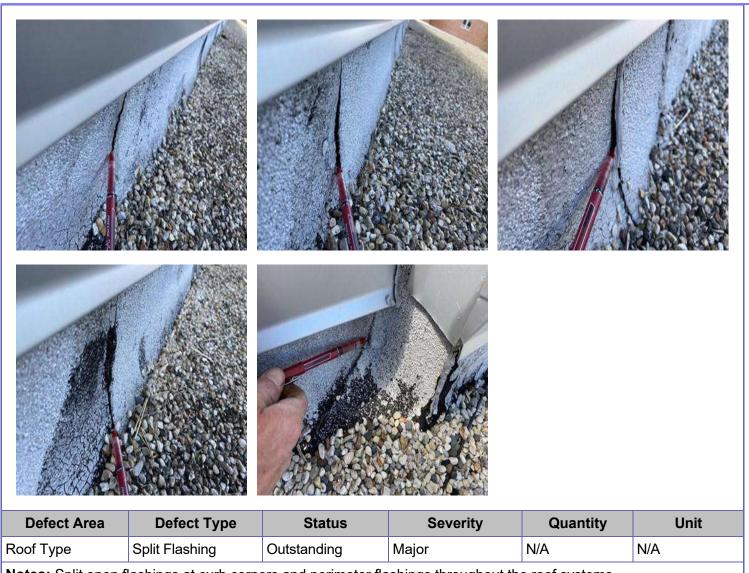
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Damaged Flashing Membranes	Outstanding	Major	N/A	N/A

Notes: Damaged curb flashings at multiple curb flashings throughout the roof system.

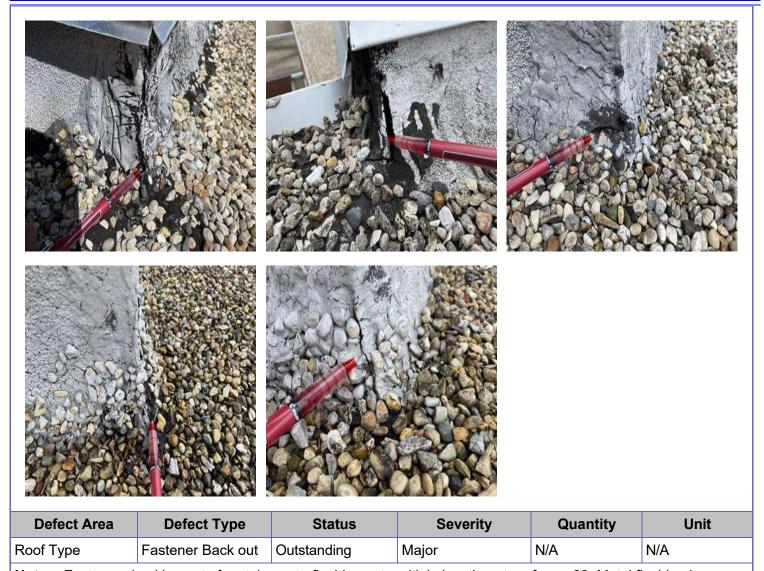




Notes: Open perimeter end lap flashings throughout the roof systems.



Notes: Split open flashings at curb corners and perimeter flashings throughout the roof systems.



Notes: Fasteners backing out of metal counterflashings at multiple location at roof area 22. Metal flashing is loose/falling and open.



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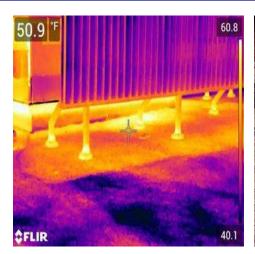
Roof Inspections			Section: 18, 22, 23, 24, 25, 26, 27		
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	5 5

Notes: Overall this roof system is in "Fair" condition with a Roof Condition Index (RCI) rating of 55. IRSC observed the following defects, open pitch pocket flashings, open perimeter end lap flashings, split open flashings at curb corners and perimeter flashings, open caulk seals at metal counter flashings, metal curb flashings, tall cone rain collar penetrations. IRSC performed a infrared moisture survey and observed four (4) anomalies. IRSC performed test core samples at these locations and observed wet insulation. With repairs completed to defects observed it would increase the RCI to 65 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Surveys			Section: 18, 22, 23, 24, 25, 26, 27		
Survey Type	Start Date	End Date	Company	Size	Unit

Infared & Cut Tests 05/13/2021 05/13/2021	Interstate Roof 275 Systems Consultants, Inc.	sq. ft.
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Notes: Anomaly (A#-3) 275 sqft No test cut made on anomaly.

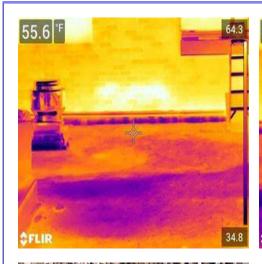




Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof	405	sq. ft.
			Systems Consultants,		
			Inc.		

Notes: Anomaly (A#-4) 405 sqft

Test cut made and showed moisture/water in roof system.









Infared & Cut Tests

05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc. 234

sq. ft.

Notes: Anomaly (A#-5) 234 sqft No test cut made on anomaly.





Infared & Cut Tests

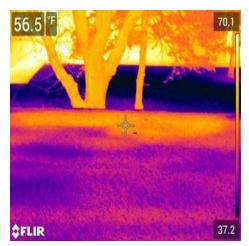
05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc. 40

sq. ft.

Notes: Anomaly (A#-8) 40 sqft No test cut made on anomaly.





Infared & Cut Tests

05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc. 312

sq. ft.

Notes: Anomaly (A#-9) 312

Test cut made showed moisture/water in roof system.







Roof Recomme	ndations	Section: 18, 22, 23, 24, 25, 26, 27		
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Preventive Maintenance	Expense Budget	Recommended	\$10,000.00
	cket flashings. er flashings. er end lap flashings. o flashings. als at metal counter flas wet insulation observed	•	•	
2022	Preventive Maintenance	Expense Budget	Recommended	\$2,500.00
Notes: Perform annua	al preventive maintenanc	e.		
2023	Preventive Maintenance	Expense Budget	Recommended	\$2,500.00
Notes: Perform annua	al preventive maintenanc	e.		
2024	Preventive Maintenance	Expense Budget	Recommended	\$2,500.00
Notes: Perform annua	al preventive maintenanc	e.		
2025	Preventive Maintenance	Expense Budget	Recommended	\$2,500.00

Notes: Perform annual preventive maintenance.

Roof Section Details

Roof Section Name: 19

Existing System Type: Built-up Asphalt 4ply gravel

Size: 17,073.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost: \$392,679.00

Year Installed: 1998 (Known)

Assessed Service Life Remaining (Years):

Age: 23

Planned Replacement

Year: 2028

Slope: Tapered Insulation

Drainage: Adequate

Currently Leaking? Unknown

History of Leaking? Unknown

RCI: 50

Condition: Fair

Roof Access: N/A

Notes: Roof system drains via four (4) internal roof drains.



Existing Ro	Section: 19			
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Metal	Unknown
2	Component Type	Vapor Retarders	Visquenn/ Plastic Sheeting	Laid in place
3	Component Type	Roof Insulation	8" Polyisocyanurate	Hot Mopped
4	Component Type	Roof Insulation	1" Perlite	Hot Mopped
5	Roof Type	Built-Up Roof	Built-up Asphalt 4ply gravel	Hot Mopped





Roof System Notes: Two (2) test core samples were taken at the roof drain (low point 3.5") and the roof system's perimeter (high point 10.0").

Roof Defects					Section: 19	
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Missing Sealants	Outstanding	Major	N/A	N/A	
Notes: Missing sealants at portal penetration boot flashings.						

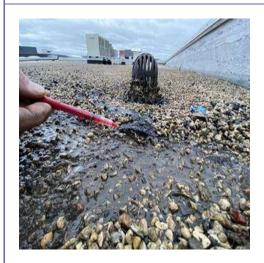






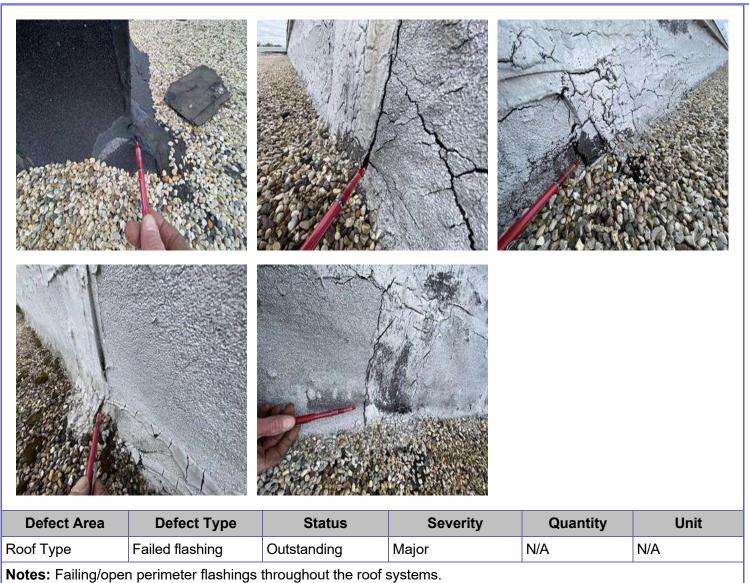
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Seam	Outstanding	Major	1	Ea.

Notes: Open seam at roof drain sump.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Split Flashing	Outstanding	Major	N/A	N/A

Notes: Split open flashings at curb corners and perimeter flashings throughout the roof system.



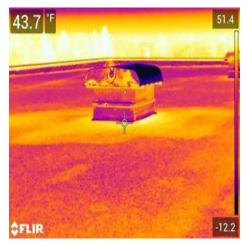


Roof Inspection	Section: 19				
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	50

Notes: Overall this roof system is in "Fair" condition with a Roof Condition Index (RCI) rating of 50. IRSC observed the following defects, failing perimeter flashings, open pitch pocket flashings, open perimeter end lap flashings, split open flashings at curb corners and perimeter flashings, open caulk seals at metal counter flashings, metal curb flashings. IRSC performed a infrared moisture survey and observed one (1) anomalies. IRSC performed test core samples at these locations and observed wet insulation. With repairs completed to defects observed it would increase the RCI to 60 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Surveys Section : 19						
Survey Type	Start Date	End Date	Company	Size	Unit	
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	483	sq. ft.	

Notes: Anomaly (A#-41) 483 sqft No test cut made on anomaly.





Roof Recomme	ndations			Section: 19
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Preventive Maintenance	Expense Budget	Recommended	\$6,500.00
-Repair open seam at -Repair split open flas -Repair failing/open p	nts at portal penetration	nd perimeter flashings the ghout the roof systems.		m.
2022	Preventive Maintenance	Expense Budget	Recommended	\$750.00
Notes: Perform annua	al preventive maintenand	e.		
2023	Preventive Maintenance	Expense Budget	Recommended	\$750.00
Notes: Perform annua	al preventive maintenanc	e.		
2024	Preventive Maintenance	Expense Budget	Recommended	\$750.00
Notes: Perform annua	al preventive maintenanc	e.		
2025	Preventive Maintenance	Expense Budget	Recommended	\$750.00
Notes: Perform annua	al preventive maintenand	e.		

Roof Section Details

Roof Section Name: 20

Existing System Type: Built-up Asphalt 4ply gravel

Size: 14,065.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost: \$323,495.00

Year Installed: 2007 (Known)

Assessed Service Life

Remaining (Years):

Age: 14

Planned Replacement

Year: 2037

Slope: Low Slope

Drainage: Adequate

Currently Leaking? Yes

History of Leaking? Unknown

RCI: 55

Condition: Fair

Roof Access: Penthouse Door

Notes: Roof system drains via four (4) internal roof drains.





Existing Ro	Section: 20			
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Metal	Unknown
2	Component Type	Roof Insulation	Tapered Asphaltic Fill	Laid in place
3	Component Type	Roof Insulation	1" Perlite	Hot Mopped
4	Roof Type	Built-Up Roof	Built-up Asphalt 4ply gravel	Hot Mopped





Roof System Notes: Two (2) test core samples were taken at the roof drain (low point, 2.0") and the roof system's perimeter (high point, 7.5").

Roof Defects					Section: 20	
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Open Caulk Joint	Outstanding	Major	N/A	N/A	
Notes: Open caulk seals at tall cone rain collar penetrations, throughout the roof system.						









Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Abandoned Equipment	Outstanding	N/A	N/A	N/A

Notes: Abandoned curb penetration.



Defect Area	Defect Type	Status	Severity	Quantity	Unit		
Roof Type	Open Pitch Pan	Outstanding	Major	N/A	N/A		
Notes: Open pitch pocket flashings throughout the roof system							







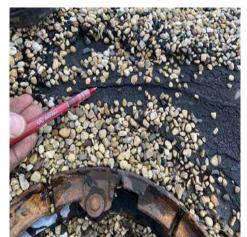


Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Seam	Outstanding	Major	1	Ea.

Notes: Open exposed felts at seam at roof drain sump.

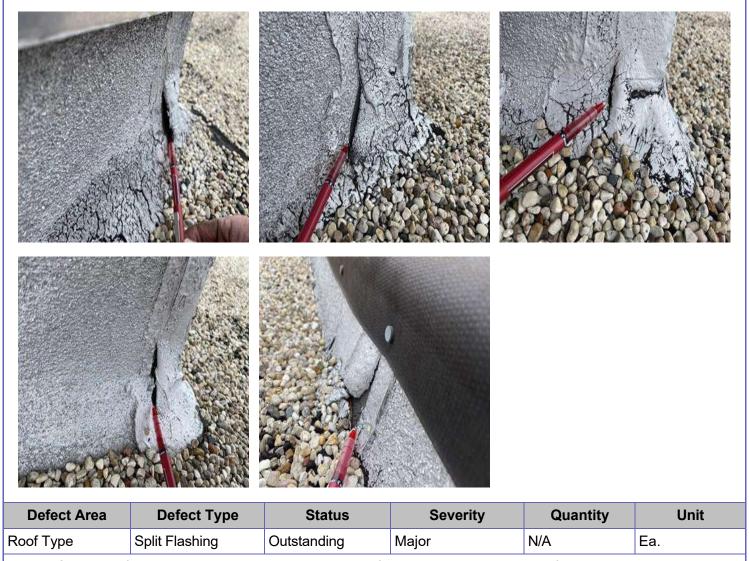






Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Flashing Seams	Outstanding	Major	N/A	N/A

Notes: Open perimeter and curb corner end lap flashings throughout the roof systems.



Notes: Split open flashings at curb corners and perimeter flashings throughout the roof system.

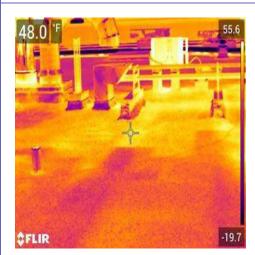


Roof Inspection	Section: 20				
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	<mark>55</mark>

Notes: Overall this roof system is in "Fair" condition with a Roof Condition Index (RCI) rating of 55. IRSC observed the following defects, open pitch pocket flashings, open perimeter end lap flashings, split open flashings at curb corners and perimeter flashings, open caulk seals at metal counterflashings, metal curb, and rain collar flashings. IRSC performed a infrared moisture survey and observed one (1) anomalies. IRSC performed test core samples at these locations and observed wet insulation. With repairs completed to defects observed it would increase the RCI to 65 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Surveys Section : 2					
Survey Type	Start Date	End Date	Company	Size	Unit
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	510	sq. ft.

Notes: Anomaly (A#-42) 510 sqft No test cut made on anomaly.







Roof Recomme	ndations			Section : 20
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Preventive Maintenance	Expense Budget	Recommended	\$5,000.00
Notes: Recommende	d Repairs for 2021.			
-Repair open perimete -Repair split open flas	d felts at seam at roof dr er and curb corner end la hings at curb corners ar wet insulation observed	ap flashings throughout nd perimeter flashings th	hroughout the roof systen	n.
2022	Preventive Maintenance	Expense Budget	Recommended	\$750.00
Notes: Perform annua	al preventive maintenand	e.		
2023	Preventive Maintenance	Expense Budget	Recommended	\$750.00

Expense Budget

Expense Budget

Recommended

Recommended

\$750.00

\$750.00

Date: October 21, 2021

Notes: Perform annual preventive maintenance.

Notes: Perform annual preventive maintenance.

Notes: Perform annual preventive maintenance.

Preventive

Preventive

Maintenance

Maintenance

2024

2025

Roof Section Details

Roof Section Name: 21, 52, 53

Existing System Type: EPDM 60 Mil Fully Adhered

Size: 6,508.00 sq. ft.

Height: 30 Ft.

Estimated Replacement

Cost: \$84,604.00

Year Installed: 2020 (Estimated)

Assessed Service Life Remaining (Years): 24

Age: 1

Planned Replacement ,

Year: 2045

Slope: Low Slope

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

RCI: 90

Condition: Excellent

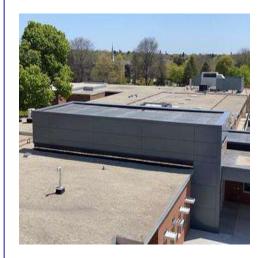
Roof Access: Penthouse Door

Notes: Roof system drain via five (5) internal roof drains.





Existing Roof System Construction			Section: 21, 52, 53		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment	
1	Roof Type	Elastomeric-Single-Ply	EPDM 60 Mil Fully Adhered	Adhered	



Roof System Notes: new roof installed 2020, no test core sample taken.

Roof Inspection	S			Section	n: 21, 52, 53
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	90

Notes: Overall this roof system is in "Excellent" condition with a Roof Condition Index (RCI) rating of 90. IRSC observed no defects. IRSC performed a infrared moisture survey and observed zero (0) anomalies. IRSC recommends yearly preventive maintenance. With yearly preventive maintenance these roof should continue to perform the remainder of its life expectancy.

Roof Recomme	Se	ection : 21, 52, 53		
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes:				
Perform annual prever	ntive maintenance.			
2022	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	l preventive maintenanc	e.		
2023	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	l preventive maintenanc	e.		
2024	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	l preventive maintenanc	e.		
2025	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	l preventive maintenanc	e.		•

Roof Section Details

Roof Section Name: 28, 29, 30, 31, 32, 33, 34, 35, 37,

38, 39

Existing System Type: EPDM 45 Mil. Ballasted

Size: 30,619.00 sq. ft.

Height: 50 Ft.

Estimated Replacement

Cost:

\$398,047.00

Year Installed: 1996 (Known)

Assessed Service Life Remaining (Years): 5

Age: 25

Planned Replacement

Year: 2026

Slope: Structurally Sloped

Drainage: Adequate

Currently Leaking? Unknown

History of Leaking? Unknown

RCI: 55

Condition: Fair

Roof Access: Roof Hatch w/ fixed Ladder

Notes: Roof Areas 29, 30, and 31 drain via gutter/downspouts located on the west end of

the roof system. The remaining Roof Areas drain via ten (10) internal roof drains

and three (3) scupper/downspouts throughout the roof systems.



Existing Roof System Construction			Section: 28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment	
1	Component Type	Roof Decks	Metal	Unknown	
3	Component Type	Roof Insulation	4" Expanded Polystyrene	Laid in place	
4	Roof Type	Elastomeric-Single-Ply	EPDM 45 Mil. Ballasted	Laid in place	
5	Component Type	Roof Surfacing	#2 Stone Ballast	Laid in place	





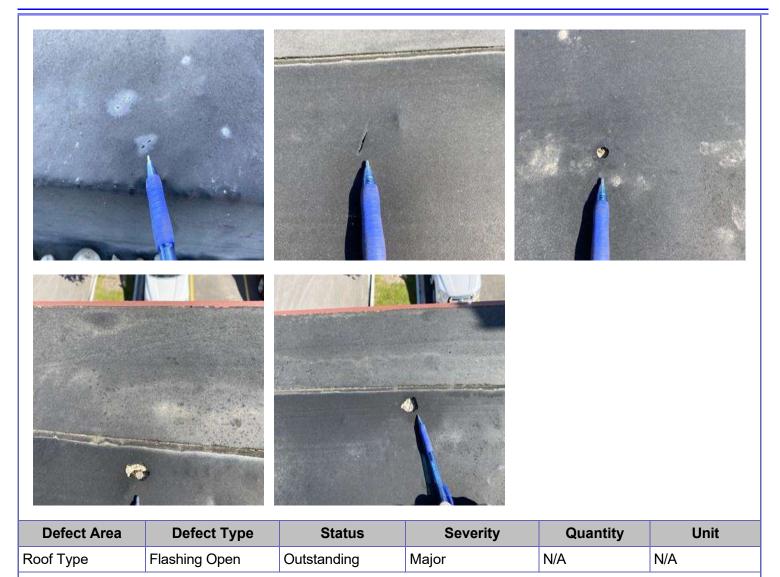
Roof System Notes: Two (2) test core samples were taken at the roof drain (low point 4.0") and the roof system's perimeter (high point 4.0").

Roof Defects	Section: 28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39					
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Hole - Flashing	Outstanding	Major	N/A	N/A	
Notes: Holes at perimeter flashings.						

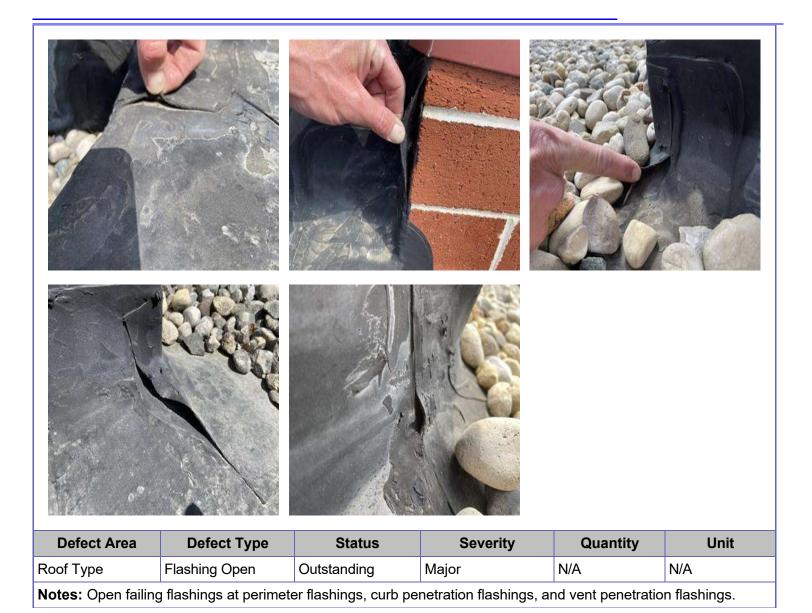




Notes: Holes at perimeter flashings.



Notes: Open failing flashings at perimeter flashings, curb penetration flashings, and vent penetration flashings.



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Notes: Open failing flashings at perimeter flashings, curb penetration flashings, and vent penetration flashings.



Notes: Open failing flashings at perimeter flashings, curb penetration flashings, and vent penetration flashings.





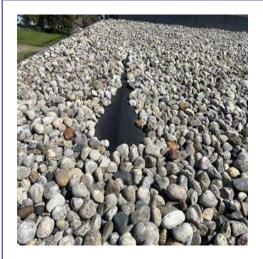




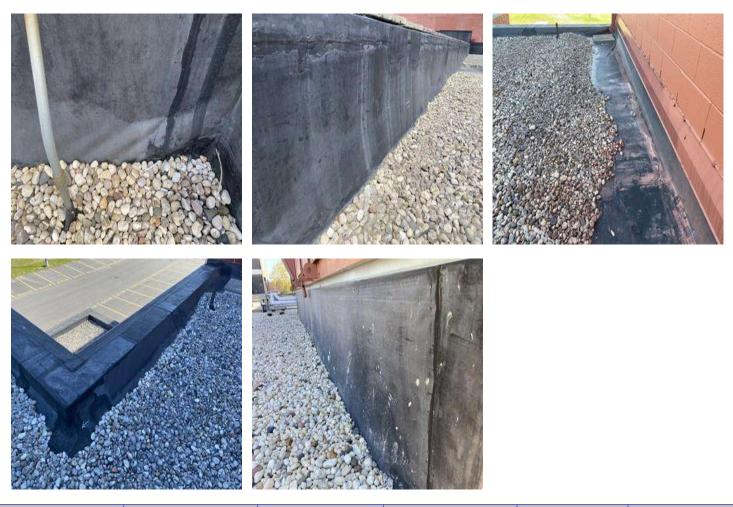


Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Buckled Insulation	Outstanding	Major	N/A	N/A

Notes: Buckled insulation observed.



Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Flashing bridging / tenting	Outstanding	Major	N/A	N/A	
Notes: Bridged/tented flashings throughout the roof systems						



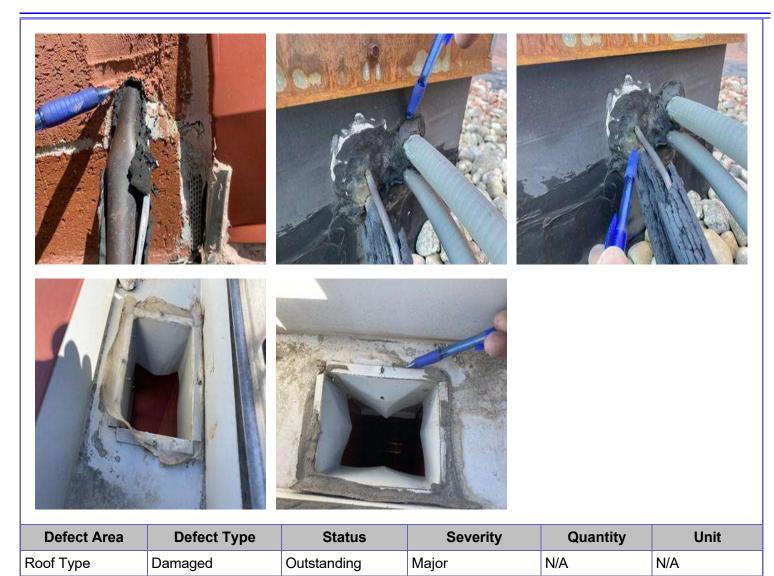
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Missing slip sheet	Outstanding	Major	N/A	N/A

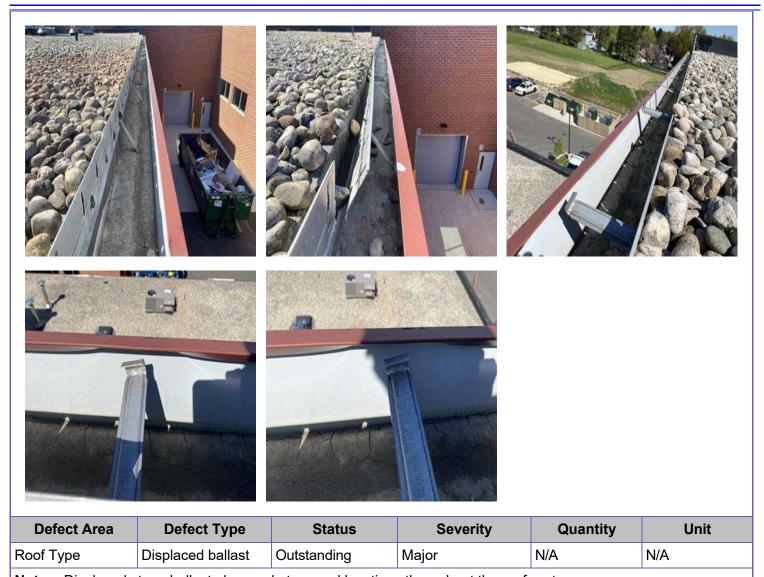
Notes: Missing protective slip sheets observed at 4"x4" wood blocking.

Notes: Caulk failure at gutter downspouts, electrical and copper line penetrations.



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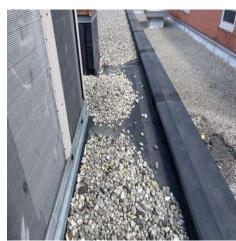
Notes: Displaced stone ballast observed at several locations throughout the roof systems.











Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Abandoned Curbs	Outstanding	Major	N/A	N/A

Notes: One (1), 2'x2' discontinued abandoned curb penetrations.



Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Broken Paver	Outstanding	Major	N/A	N/A	
Notes: Broken and missing gravel stop pavers at parapet.						



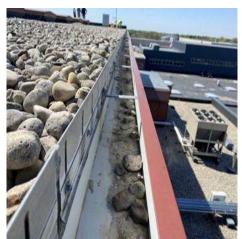


Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Vegatation and drainage defect	Outstanding	Major	N/A	N/A

Notes: Debris and plant life vegetation observed at gutters, downspouts, and field membrane.







Roof Inspection	S	Se	ction: 28, 29, 30,	31, 32, 33, 34, 3	5, 37, 38, 39
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual Evaluation	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	55

Notes: Overall this roof system is in "Fair" condition with a Roof Condition Index (RCI) rating of 55. IRSC observed the following defects, holes at perimeter EPDM flashings, open perimeter flashings, curb penetration flashings, and vent penetration flashings, buckled insulation, bridged/tented flashings, open caulk seal at gutter flashings, electrical/copper line penetrations, damaged gutter straps and gravel stop, displaced stone ballast, broken pavers, abandoned curb penetration and debris lying on roof. With repairs completed to defects observed it would increase the RCI to 65 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Recommendations		Section: 28, 29, 30, 31, 32, 33, 34, 35, 37, 38, 39			
Budget Year	Activity Type	Allocation Type	Status	Budget Cost	
2021	Preventive Maintenance	Expense Budget	Recommended	\$7,500.00	

Notes: Recommended Repairs for 2021.

- -Repair holes at perimeter flashings.
- -Repair open failing flashings at perimeter flashings, curb penetration flashings, and vent penetration flashings.
- -Repair buckled insulation.
- -Repair bridged/tented flashings throughout the roof systems.
- -Repair caulk failure at gutter downspouts, electrical and copper line penetrations.
- -Repair damaged gutter straps and gravel stop.
- -Install protective slip sheets at 4x4 wood blocking.
- -Place back displaced stone ballast.

2022	Preventive Maintenance	Expense Budget	Recommended	\$1,500.00
Notes: Perform annua	al preventive maintenanc	e.		
2023	Preventive Maintenance	Expense Budget	Recommended	\$1,500.00
Notes: Perform annua	al preventive maintenanc	e.		
2024	Preventive Maintenance	Expense Budget	Recommended	\$1,500.00
Notes: Perform annua	al preventive maintenanc	e.		
2025	Preventive Maintenance	Expense Budget	Recommended	\$1,500.00
Notes: Perform annua	al preventive maintenanc	e.		

Roof Section Details

Roof Section Name: 3

Existing System Type: Standing Seam Sheet Metal

Size: 2,060.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost: \$55,620.00

Year Installed: 2002 (Known)

Assessed Service Life Remaining (Years): 21

Age: 19

Planned Replacement

Year: 2042

Slope: Low Slope

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

RCI: 75

Condition: Good

Roof Access: Penthouse Door

Notes: Roof system drains onto lower Roof Area 5.



Existing Ro	Section: 3			
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Metal	Unknown
2	Roof Type	Metal Panel Roof	Standing Seam Sheet Metal	Mechanically Attached



Roof Defects					Section: 3
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Missing Snow Guard	Outstanding	Major	12	Ea.

Notes: Twelve (12) missing snow guards.





Roof Inspections					
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual Evaluation	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	75

Notes: Overall this roof is performing in Good" condition with a Roof Condition Index (RCI) of 75. IRSC observed twelve (12) missing snow guards. With repairs completed to defects observed it would increase the RCI to 85 "Very Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Recomme	ndations			Section: 3
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Preventive Maintenance	Expense Budget	Recommended	\$1,000.00
Notes: Recommende	d Repairs for 2021.			
-Replace twelve (12) ı	missing snow guards.			
2022	Preventive Maintenance	Expense Budget	Recommended	\$300.00
Notes: Perform annua	al preventive maintenanc	e.		
2023	Preventive Maintenance	Expense Budget	Recommended	\$300.00
Notes: Perform annua	al preventive maintenanc	e.		
2024	Preventive Maintenance	Expense Budget	Recommended	\$300.00
Notes: Perform annua	al preventive maintenanc	e.		
2025	Preventive Maintenance	Expense Budget	Recommended	\$300.00
Notes: Perform annua	al preventive maintenanc	e.		

Roof Section Details

Roof Section Name: 36, & 50

Existing System Type: EPDM 60 mil

Size: 1,360.00 sq. ft.

Height: 20 Ft.

Estimated Replacement

Cost: \$17,680.00

Year Installed: 1996 (Known)

Assessed Service Life Remaining (Years):

Age: 25

Planned Replacement

Year: 2021

Slope: Low Slope

Drainage: Adequate

Currently Leaking? Unknown

History of Leaking? Unknown

RCI: 0

Condition: Critical

Roof Access: Portable Ladder

Notes: Roof system drains via five (5) internal roof drains.





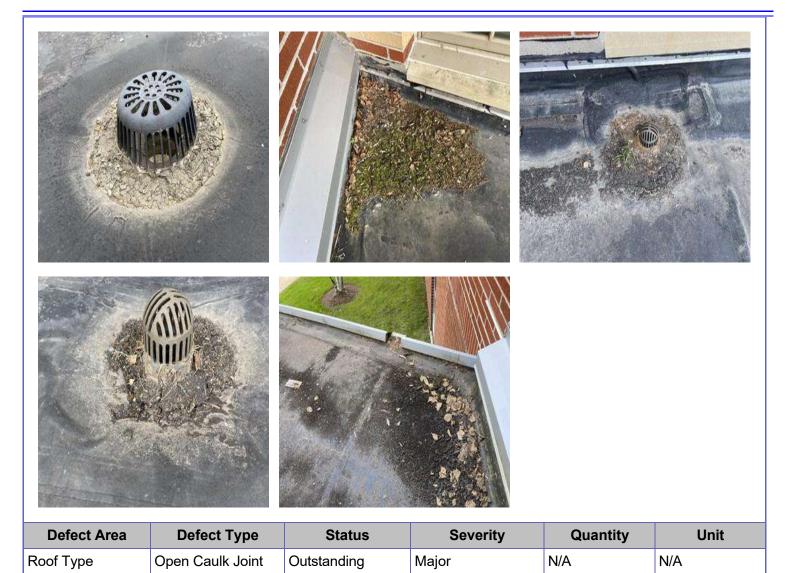
Existing Ro	Section: 36, & 50			
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Metal	Unknown
2	Component Type	Thermal Barriers	1/2" Gypsum board	Laid in place
3	Component Type	Roof Insulation	2" Expanded Polystyrene	Laid - in - place
4	Component Type	Roof Insulation	1/2" Wood Fiberboard	Mechanically Fastened/Attached
5	Roof Type	Elastomeric-Single-Ply	EPDM 60 mil	Fully Adhered





Roof System Notes: Two (2) test core samples were taken at the roof drain (low point 3.0") and the roof system's perimeter (high point 3.0").

Roof Defects Section : 36, & 50					
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Debris	Outstanding	Major	N/A	N/A
Notes: Plant vegetation debris throughout the roof system, restricting drainage at roof drain basket.					



Notes: Open loose termination bar at perimeter flashings. Open caulk seals at metal counterflashings throughout the roof system perimeter flashings.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Metal Joints	Outstanding	Major	1	Ea.

Notes: Open metal counterflashing corner joint.



Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Open Pitch Pan	Outstanding	Major	N/A	N/A	
Notes: Open pitch pocket flashings at canopy support rod penetrations, located on roof area 36.						



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Seam Failure	Outstanding	Major	N/A	N/A

Notes: Field seams and flashing seams observed lifting/failing.



Defect Area	Defect Type	Status	Severity	Quantity	Unit		
Roof Type	Hole in Membrane	Outstanding	Major	N/A	N/A		
Notes: Halas/Dam	Notes: Heles/Demogra in the CDDM field membrane legated on roof area 50						

Notes: Holes/Damage in the EPDM field membrane located on roof area 50.



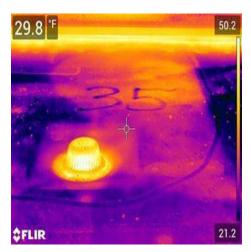


Roof Inspections				Section	on: 36, & 50
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	10

Notes: Overall this roof system is in "Critical" condition, with a Roof Condition Index (RCI) rating of 10 .IRSC observed multiple large holes in the EPDM field membrane. IRSC also observed failing perimeter and curb flashings, lifting field seams and target patches throughout the roof system. IRSC performed a infrared moisture survey and observed one (1) anomaly. IRSC performed test core samples at this location and observed wet insulation. Roof system should be considered for roof replacement.

Roof Surveys				Section	on: 36, & 50
Survey Type	Start Date	End Date	Company	Size	Unit
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	64	sq. ft.

Notes: Anomaly (A#-35) 64 sqft No test cut made on anomaly.





Roof Recommen	· ·	Section : 36, & 50		
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Annual Roof Survey	Capital Budget	Recommended	\$17,680.00
Notes:				
Recommended Roof F	Replacement for 2021.			
2022	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	l preventive maintenanc	e.		
2023	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	l preventive maintenanc	e.		
2024	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	l preventive maintenanc	e.		
2025	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	l preventive maintenanc	e.		

Roof Section Details

Roof Section Name: 40, and 47

Existing System Type: EPDM 45 Mil. Ballasted

Size: 6,950.00 sq. ft.

Height: 20 Ft.

Estimated Replacement

Cost: \$90,350.00

Year Installed: 1996 (Known)

Assessed Service Life Remaining (Years) :

Age: 25

Planned Replacement

Year: 2026

Slope: Tapered Insulation

Drainage: Adequate

Currently Leaking? Unknown

History of Leaking? Unknown

RCI: 56

Condition: Good

Roof Access: Penthouse Door





Existing Ro	of System Const	Section: 40, and 47		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Metal	Unknown
2	Component Type	Thermal Barriers	1/2" Gypsum board	Laid in place
3	Component Type	Roof Insulation	2" Expanded Polystyrene	Laid in place
4	Roof Type	Elastomeric-Single-Ply	EPDM 45 Mil. Ballasted	Laid in place
5	Component Type	Roof Surfacing	#2 Stone Ballast	Laid in place





Roof System Notes: Two (2) test core samples were taken at the roof drain (low point 2.5") and the roof system's perimeter (high point 2.5").

Roof Defects		Section	: 40, and 47			
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Abandoned rooftop penetration	Outstanding	Major	1	Ea.	
Notes: Abandoned	Notes: Abandoned curb penetration located on roof area 40.					



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Debris	Outstanding	Major	1	Ea.

Notes: Concrete walkway lying on stone ballast and EPDM membrane.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Drain Screen missing	Outstanding	Major	1	Ea.

Notes: Drain basket screen missing at roof drain located on roof area 40.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Membrane seam open	Outstanding	Major	N/A	N/A

Notes: Lifting open flashing seam.



Defect Area	Defect Type	Status	Severity	Quantity	Unit		
Roof Type	Flashing bridging / tenting	Outstanding	Major	N/A	N/A		
N (T ())	Network Total Control of the Control						

Notes: Tented bridged flashings at perimeter flashings located at roof area 40.





Roof Inspections			Section	: 40, and 47	
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual Evaluation	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	56

Notes: Overall this roof system is in "Good" condition with a Roof Condition Index (RCI) rating of 56. IRSC observed the following defects, lifting open flashing seam, tented bridged flashings at perimeter flashings, missing drain basket screen. With repairs completed to defects observed it would increase the RCI to 66 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Recomme	Se	ction : 40, and 47		
Budget Year	Activity Type	Allocation Type	Status	Budget Cost
2021	Preventive Maintenance	Expense Budget	Recommended	\$2,000.00
Notes: Recommende	d Repairs for 2021.			
-Replace missing drai	d flashings at perimeter	flashings located at roo	f area 40.	
2022	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	al preventive maintenanc	e.		
2023	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	al preventive maintenanc	e.		
2024	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	al preventive maintenanc	e.		
2025	Preventive Maintenance	Expense Budget	Recommended	\$500.00
Notes: Perform annua	al preventive maintenanc	e.		

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 107 Date: October 21, 2021

Roof Section Details

Roof Section Name: 43, 44, 44-A, 46

Existing System Type: Built-up Asphalt 4ply gravel

Size: 34,973.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost: \$804,379.00

Year Installed: 2000 (Known)

Assessed Service Life Remaining (Years):

Age: 21

Planned Replacement

Year: 2030

Slope: Low Slope

Drainage: Inadequate

Currently Leaking? Yes

History of Leaking? No

RCI: 55

Condition: Fair

Roof Access: Penthouse Door

Notes: Roof system drains via nine (9) internal roof drains.





Existing Roof System Construction			Section: 43, 44, 44-A, 46		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment	
1	Component Type	Roof Decks	Concrete	Unknown	
2	Component Type	Vapor Retarders	Visquenn/ Plastic Sheeting	Laid in place	
3	Component Type	Roof Insulation	1" Perlite	Laid in place	
4	Component Type	Roof Insulation	4" Polyisocyanurate	Laid in place	
5	Component Type	Roof Insulation	1" Perlite	Laid in place	
6	Roof Type	Built-Up Roof	Built-up Asphalt 4ply gravel	Hot Mopped	

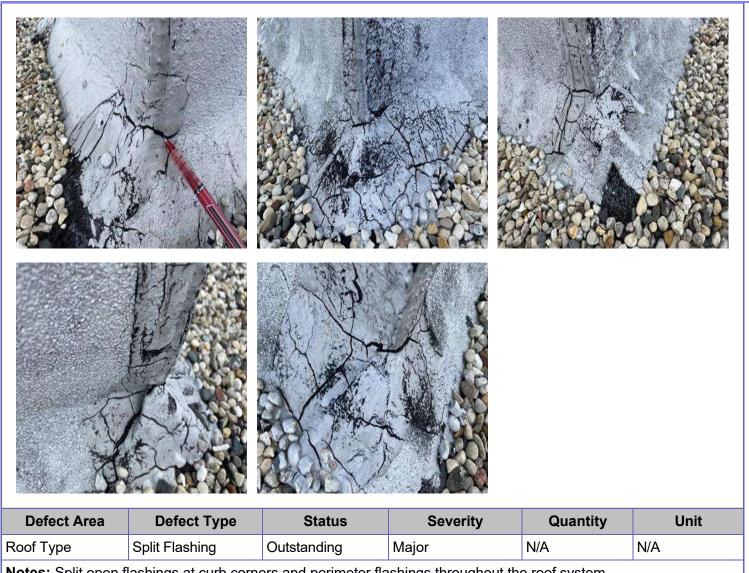




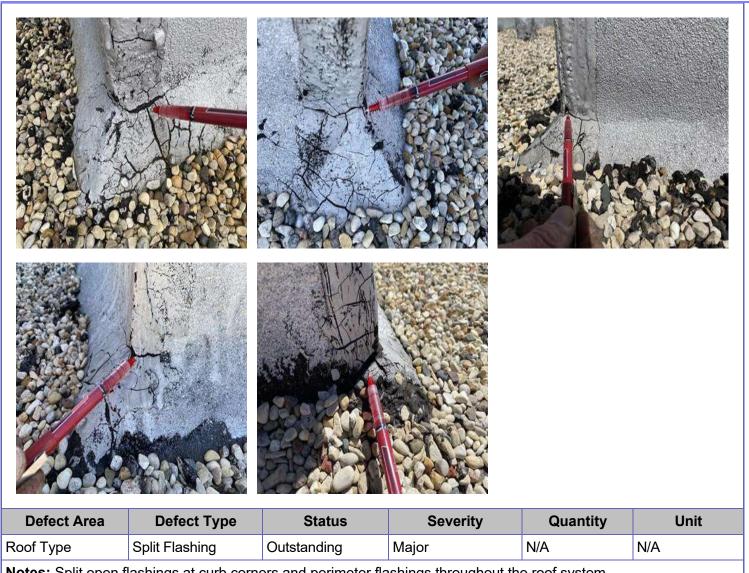
Roof System Notes: Two (2) test core samples were taken at the roof drain (low point, 3.0") and the roof system's perimeter (high point, 7.0").

Roof Defects Section: 43, 44, 44-A,						
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Split Flashing	Outstanding	Major	N/A	N/A	

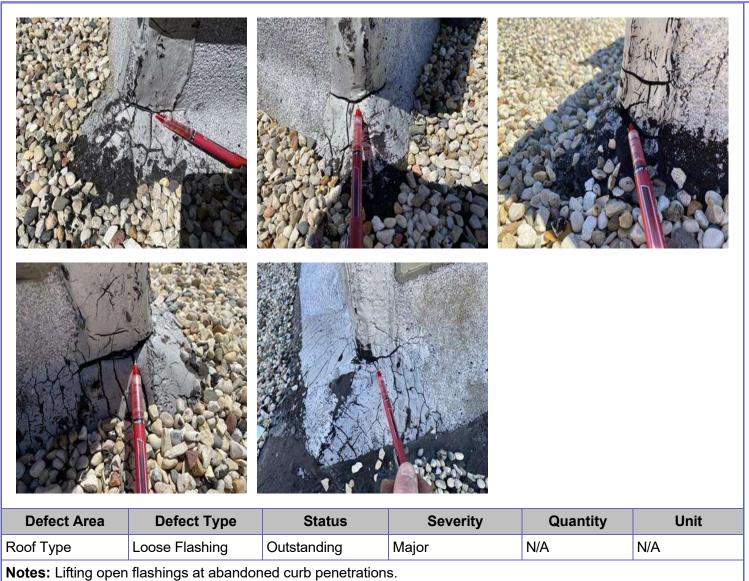
Notes: Split open flashings at curb corners and perimeter flashings throughout the roof system.

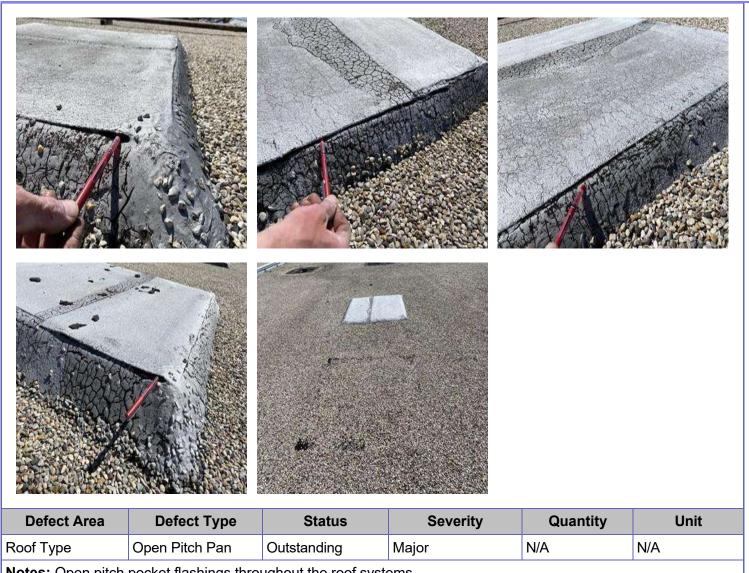


Notes: Split open flashings at curb corners and perimeter flashings throughout the roof system.

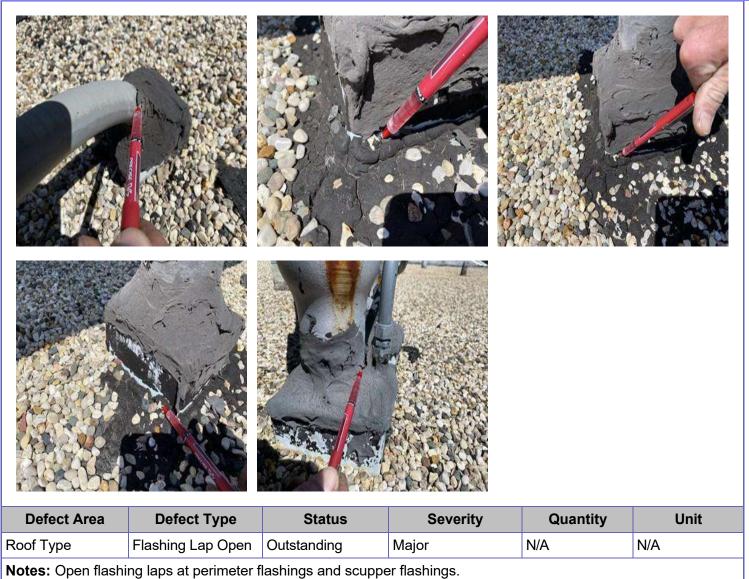


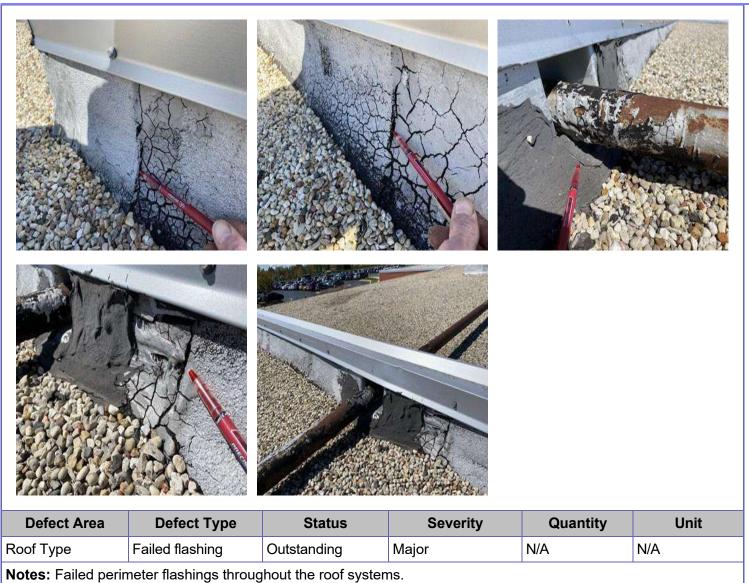
Notes: Split open flashings at curb corners and perimeter flashings throughout the roof system.

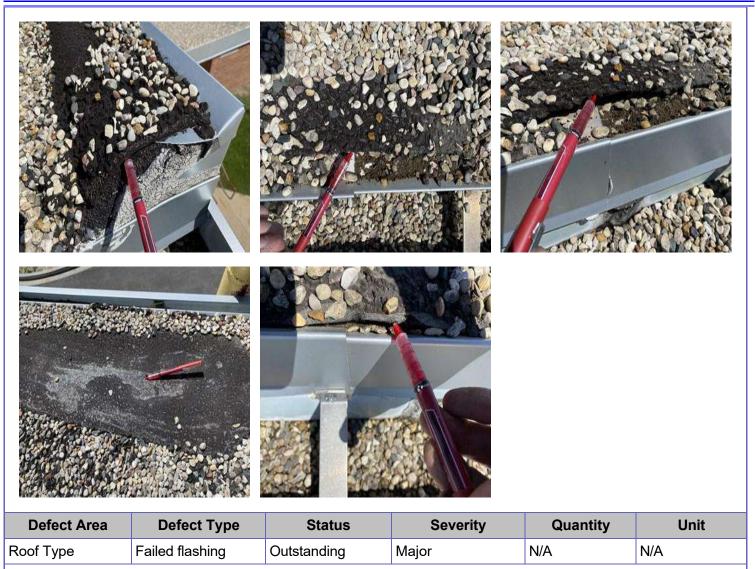




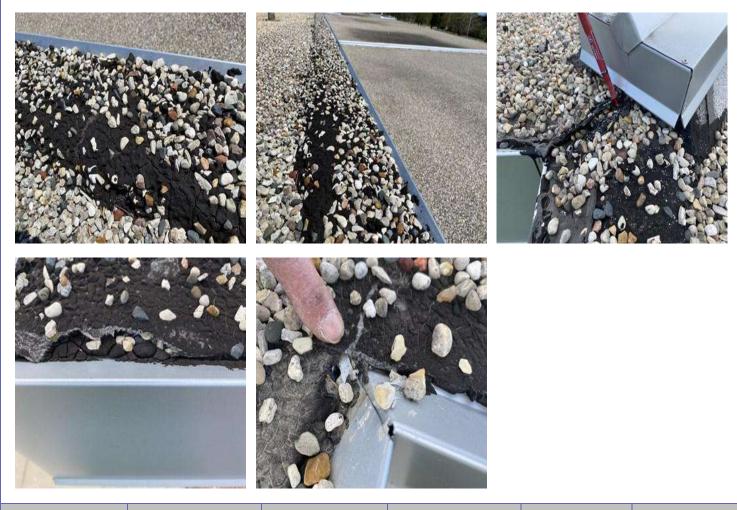
Notes: Open pitch pocket flashings throughout the roof systems.







Notes: Failed perimeter flashings throughout the roof systems.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Exposed Felts	Outstanding	Major	N/A	N/A

Notes: Exposed filed felt plies.











Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Caulk Failure	Outstanding	Major	N/A	N/A	
Notes O C. T. H. L.						

Notes: Open failing caulk seals at perimeter metal counterflashings.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Abandoned rooftop penetration	Outstanding	Major	N/A	N/A

Notes: Abandoned electrical, rail curb penetrations.



Notes: Plant life vegetation restricting drainage.



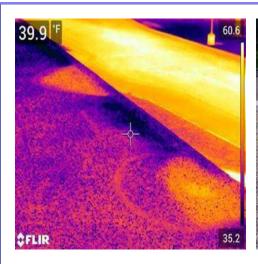
Roof Inspection	S	Section: 43,	44, 44-A, 46		
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	55

Notes: Overall this roof system is in "Fair" condition with a Roof Condition Index (RCI) rating of 55. IRSC observed the following defects, open pitch pocket flashings, open perimeter end lap flashings, split open flashings at curb corners and perimeter flashings, open caulk seals at metal counter flashings, metal curb flashings. IRSC performed a infrared moisture survey and observed sixteen (16) anomalies. IRSC performed test core samples at these locations and observed wet insulation. With repairs completed to defects observed it would increase the RCI to 65 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Surveys				Section : 43,	44, 44-A, 46
Survey Type	Start Date	End Date	Company	Size	Unit

Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	24	sq. ft.
Notes: Anomaly (A#- No test cut made on a					
45.9 F	50.9				
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	240	sq. ft.
Notes: Anomaly (A#- No test cut made on a					
48.4 °F	55.0				
 Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants,	18	sq. ft.

No test cut made on anomaly.





05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc.

16

sq. ft.

Notes: Anomaly (A#-14) 16 sqft No test cut made on anomaly.





Infared & Cut Tests

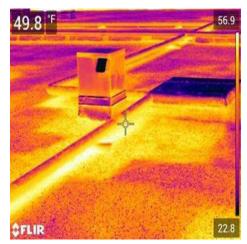
05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc. 110

sq. ft.

Notes: Anomaly (A#-15) 110 sqft No test cut made on anomaly.





05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc. 3,249

sq. ft.

Notes: Anomaly (A#-16) 3,249 sqft

Test cut made showed moisture/water in roof system.











Infared & Cut Tests

05/13/2021

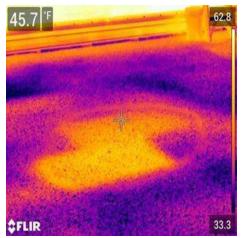
05/13/2021

Interstate Roof Systems Consultants, Inc.

30

sq. ft.

Notes: Anomaly (A#-17) 30 sqft No test cut made on anomaly.





Infared & Cut Tests

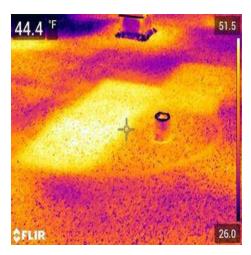
05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc. 30

sq. ft.

Notes: Anomaly (A#-18) 30 sqft No test cut made on anomaly.





Inc.

Infared & Cut Tests

05/13/2021

05/13/2021

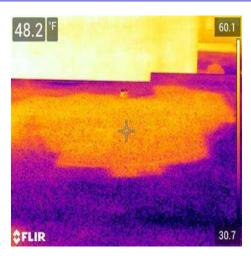
Interstate Roof Systems Consultants,

216

sq. ft.

Notes: Anomaly (A#-19) 216 sqft No test cut made on anomaly.

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 125





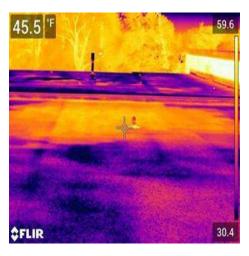
05/13/2021

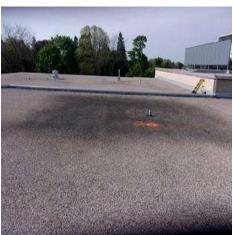
05/13/2021

Interstate Roof Systems Consultants, Inc. 840

sq. ft.

Notes: Anomaly (A#-20) 840 sqft No test cut made on anomaly.





Infared & Cut Tests

05/13/2021

05/13/2021

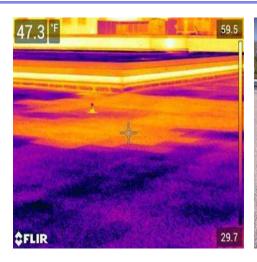
Interstate Roof Systems Consultants, Inc. 1,190

sq. ft.

Notes: Anomaly (A#-21) 1,190 sqft

Test cut made showed moisture/water in roof system.

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 126







05/13/2021

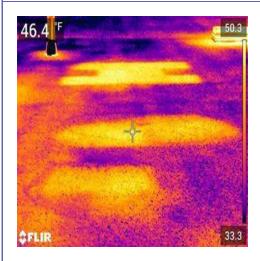
05/13/2021

Interstate Roof Systems Consultants, Inc. 192

sq. ft.

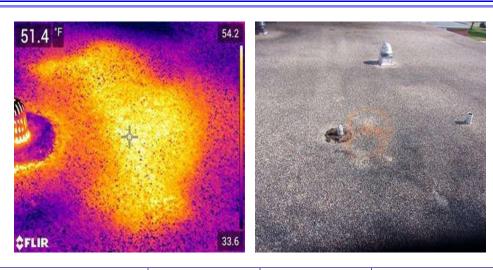
Notes: Anomaly (A#-22) 192 sqft No test cut made on anomaly.

Note: A#-22 is 3 anomalies grouped together as they were within foot of eachother.



Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof	15	sq. ft.
			Systems Consultants,		
			Inc.		

Notes: Anomaly (A#-23) 15 sqft No test cut made on anomaly.



05/13/2021

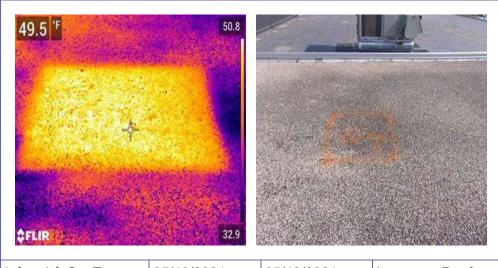
05/13/2021

Interstate Roof Systems Consultants, Inc.

16

sq. ft.

Notes: Anomaly (A#-24) 16 sqft No test cut made on anomaly.



Infared & Cut Tests

05/13/2021

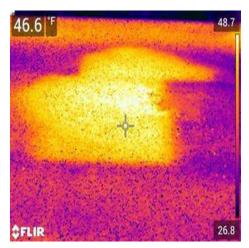
05/13/2021

Interstate Roof Systems Consultants, Inc.

20

sq. ft.

Notes: Anomaly (A#-25) 20 sqft No test cut made on anomaly.





05/13/2021

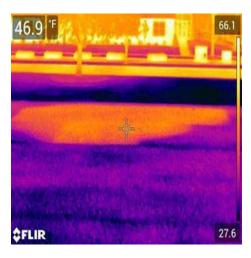
05/13/2021

Interstate Roof Systems Consultants, Inc.

50

sq. ft.

Notes: Anomaly (A#-26) 50 sqft No test cut made on anomaly.





Infared & Cut Tests

05/13/2021

05/13/2021

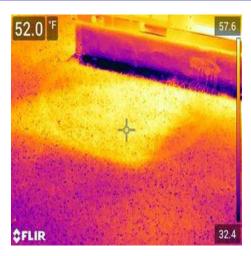
Interstate Roof Systems Consultants, Inc.

12

sq. ft.

Notes: Anomaly (A#-27) 12 sqft No test cut made on anomaly.

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 129





Roof Recommendations			Section : 43, 44, 44-A, 46		
Budget Year	Activity Type	Allocation Type	Status	Budget Cost	
2021	Preventive Maintenance	Expense Budget	Recommended	\$15,000.00	

Notes: Recommended Repairs for 2021.

- -Repair split open flashings at curb corners and perimeter flashings.
- -Repair open pitch pocket flashings.
- -Repair open flashing laps at perimeter flashings and scupper flashings.
- -Repair failed perimeter flashings.
- -Repair exposed field felt plies.
- -Repair open failing caulk seals at perimeter metal counterflashings.
- -Remove electrical conduit pitch pocket flashing.
- -Remove plant life vegetation from the roof system.
- -Remove and replace wet insulation observed, approximately; 3,657 SqFt.

Preventive Maintenance	Expense Budget	Recommended	\$1,000.00
annual preventive mainter	nance.		
Preventive Maintenance	Expense Budget	Recommended	\$1,000.00
annual preventive mainter	nance.		
Preventive Maintenance	Expense Budget	Recommended	\$1,000.00
annual preventive mainter	nance.		
Preventive Maintenance	Expense Budget	Recommended	\$1,000.00
	Maintenance annual preventive mainter Preventive Maintenance annual preventive mainter Preventive Maintenance annual preventive mainter Preventive mainter Preventive mainter	Maintenance annual preventive maintenance. Preventive Maintenance annual preventive maintenance. Preventive Expense Budget Expense Budget Expense Budget Annual preventive maintenance. Preventive Expense Budget Annual preventive maintenance. Preventive Expense Budget	Maintenance annual preventive maintenance. Preventive Maintenance annual preventive maintenance. Preventive Expense Budget Recommended Preventive Expense Budget Recommended annual preventive maintenance. Preventive Expense Budget Recommended Preventive Maintenance.

Roof Section Details

Roof Section Name: 45

Existing System Type: Built-up Asphalt 4ply gravel

Size: 4,990.00 sq. ft.

Height: 40 Ft.

Estimated Replacement

Cost: \$114,770.00

Year Installed: 2017 (Known)

Assessed Service Life

Remaining (Years):

Age: 4

Planned Replacement

Year: 2047

Slope: Low Slope

Drainage: Adequate

Currently Leaking? Yes

History of Leaking? No

RCI: 60

Condition: Good

Roof Access: Penthouse Door

Notes: Roof system drains via two (2) internal roof drains.

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 131

Existing Ro	Section: 45			
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Metal	Unknown
2	Component Type	Roof Insulation	1.5" Polyisocyanurate	Laid in place
3	Component Type	Roof Insulation	1" Polyisocyanurate	Hot Mopped
4	Component Type	Roof Insulation	1" Perlite	Hot Mopped
5	Roof Type	Built-Up Roof	Built-up Asphalt 4ply gravel	Hot Mopped



Roof System Notes: Two (2) test core samples were taken at the roof drain (low point, 4.5") and the roof system's perimeter (high point, 4.5").

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 132 Date: October 21, 2021

Roof Defects Section :						
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Drainage Impaired	Outstanding	Major	1	Ea.	

Notes: Plant life debris at roof drain basket, restricting drainage.



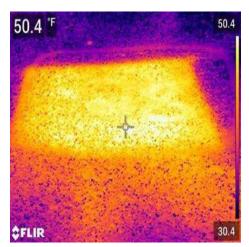
Roof Inspection	Section: 45				
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	60

Notes: Overall this roof is performing in good condition with a Roof Condition Index (RCI) of 60. IRSC observed debris at roof drain basket restricting drainage. With yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 133 Date: October 21, 2021

Roof Surveys					Section: 45
Survey Type	Start Date	End Date	Company	Size	Unit
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	20	sq. ft.

Notes: Anomaly (A#-28) 20 sqft No test cut made on anomaly.





Roof Recommendations Section : 45						
Budget Year	Activity Type	Allocation Type	Status	Budget Cost		
2021	Preventive Maintenance	Expense Budget	Recommended	\$200.00		
Notes: Recommende	d Repairs for 2021.					
-Clear roof drains of pl	ant life vegetation.					
2022	Preventive Maintenance	Expense Budget	Recommended	\$200.00		
Notes: Perform annua	l preventive maintenanc	e.				
2023	Preventive Maintenance	Expense Budget	Recommended	\$200.00		
Notes: Perform annua	l preventive maintenanc	e.				
2024	Preventive Maintenance	Expense Budget	Recommended	\$200.00		
Notes: Perform annua	l preventive maintenanc	e.				
2025	Preventive Maintenance	Expense Budget	Recommended	\$200.00		
Notes: Perform annua	l preventive maintenanc	e.				

Roof Section Details

Roof Section Name: 48

Existing System Type: EPDM 45 mil Fully Adhered

Size: 4,420.00 sq. ft.

Height: 30 Ft.

Estimated Replacement

Cost: \$57,460.00

Year Installed: 2015 (Known)

Assessed Service Life Remaining (Years):

Age: 6

Planned Replacement 200

Year: 2040

Slope: Low Slope

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

RCI: 76

Condition: Very Good

Roof Access: Penthouse Door

Notes: Roof system drains via two (2) internal roof drains.



Existing Ro	Section: 48			
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Metal	Unknown
2	Component Type	Roof Insulation	Tapered Asphaltic Fill	Laid in place
3	Component Type	Roof Insulation	2.5" Polyisocyanurate	Laid in place
4	Component Type	Thermal Barriers	1/2" Gypsum board	Mechanically Fastened/Attached
5	Roof Type	Elastomeric-Single-Ply	EPDM 45 mil Fully Adhered	Fully Adhered





Roof System Notes: Two (2) test core samples were taken at the roof drain (low point, 2.5") and the roof system's perimeter (high point, 7.5").

Roof Inspection	Section: 48				
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	76

Notes: Overall this roof system is in "Very Good" condition with a Roof Condition Index (RCI) rating of 76. IRSC observed no defects. IRSC performed a infrared moisture survey and observed zero (0) anomalies. IRSC recommends yearly preventive maintenance. With yearly preventive maintenance these roof should continue to perform the remainder of its life expectancy.

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 136 Date: October 21, 2021

Roof Recommendations Section : 46						
Budget Year	Activity Type	Allocation Type	Status	Budget Cost		
2021	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes:						
Perform annual prever	ntive maintenance.					
2022	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes: Perform annua	al preventive maintenanc	e.				
2023	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes: Perform annua	al preventive maintenanc	e.				
2024	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes: Perform annua	al preventive maintenanc	e.				
2025	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes: Perform annua	al preventive maintenanc	e.	•	,		

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 137 Date: October 21, 2021

Roof Section Details

Roof Section Name: 5

Existing System Type: EPDM 60 mil - Ballasted

Size: 14,210.00 sq. ft.

Height: 30 Ft.

Estimated Replacement

Cost: \$213,150.00

Year Installed: 2002 (Known)

Assessed Service Life Remaining (Years):

Age: 19

Planned Replacement

Year: 2027

Slope: Low Slope

Drainage: Adequate

Currently Leaking? No

History of Leaking? No

RCI: 65

Condition: Good

Roof Access: Penthouse Door

Notes: Roof system drains via four (4) internal roof drains.



Existing Ro	Section: 5			
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Metal	Unknown
2	Component Type	Vapor Retarders	Visquenn/ Plastic Sheeting	Laid in place
3	Component Type	Thermal Barriers	1/2" Gypsum board	Laid in place
4	Component Type	Roof Insulation	3" Polyisocyanurate	Laid in place
5	Roof Type	Elastomeric-Single-Ply	EPDM 60 mil - Ballasted	Laid in place





Roof System Notes: Two (2) test core samples were taken at the roof drain (low point, 3.5") and the roof system's perimeter (high point, 3.5").

Roof Defects					Section: 5	
Defect Area	Defect Type	Status	Severity	Quantity	Unit	
Roof Type	Loose metal edge	Outstanding	Major	1	Ea.	
Notes: Lifted loose metal coping at joint.						



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Caulk Joint	Outstanding	Major	N/A	N/A

Notes: Open caulk seals at tall cone flashings throughout the roof system.











Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Open Flashing	Outstanding	Major	1	Ea.

Notes: Open flashing at perimeter end lap flashing.



Roof Inspections						
Inspection Type	Start Date	End Date	Company	Inspector	Condition	
Visual Evaluation	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	<mark>65</mark>	

Notes: Overall this roof is performing in "Good" condition with a Roof Condition Index (RCI) of 65. IRSC observed the following defects, lifted loose metal coping at joint, open caulk seals at tall cone flashings, open flashing at perimeter end lap flashings. With repairs completed to defects observed it would increase the RCI to 75 "Good". With yearly preventive maintenance these roof should continue to perform the remainder of its life expectancy.

Roof Recommendations Section : 5						
Budget Year	Activity Type	Allocation Type	Status	Budget Cost		
2021	Preventive Maintenance	Expense Budget	Recommended	\$1,000.00		
Notes: Recommender-Repair lifted loose me						
-Repair open caulk se	als at tall cone flashings at perimeter end lap flas					
2022	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes: Perform annua	l preventive maintenanc	e.				
2023	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes: Perform annua	al preventive maintenanc	e.				
2024	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes: Perform annua	l preventive maintenanc	e.				
2025	Preventive Maintenance	Expense Budget	Recommended	\$300.00		
Notes:	•					
Perform annual prever	ntive maintenance.					

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 142

Roof Section Details

Roof Section Name: 9, 10, 41, 42, 49

Existing System Type: Built-up Asphalt 4ply gravel

Size: 27,117.00 sq. ft.

Height: 30 Ft.

Estimated Replacement

Cost: \$623,691.00

Year Installed: 1999 (Known)

Assessed Service Life

Remaining (Years):

Age: 22

Planned Replacement

Year: 2029

Slope: Tapered Insulation

Drainage: Adequate

Currently Leaking? Unknown

History of Leaking? Unknown

RCI: 55

Condition: Fair

Roof Access: Penthouse Door

Notes: Roof systems drains via four (4) internal roof drains as well as gutter/downspouts,

and scupper/downspout.

Prepared By: Interstate Roof Systems Consultants, Inc. Page: 143 Date: October 21, 2021

Existing Ro	of System Const	Section: 9, 10, 41, 42, 49		
Build Order	Assembly Name	Component Group	Component Type	Method of Attachment
1	Component Type	Roof Decks	Concrete	Unknown
2	Component Type	Vapor Retarders	2-Ply Fiberglass	Hot Mopped
3	Component Type	Roof Insulation	3" Polyisocyanurate	Hot Mopped
4	Component Type	Roof Insulation	1.5" Polyisocyanurate	Hot Mopped
5	Component Type	Roof Insulation	1" Perlite	Hot Mopped
6	Roof Type	Built-Up Roof	Built-up Asphalt 4ply gravel	Hot Mopped





Roof System Notes: Roof Areas 41, 42, and 49 roof component make-up are as follows:

Test core #1. High Point

- 1. Roof Deck- Metal
- 2. Vapor Retarder- Hot Mopped 2 Ply Fiberglass
- 3. Insulation- 2.5 inch Polyisocyanurate
- 4. Insulation- 2.5 inch Polyisocyanurate
- 5. Insulation- 1.0 inch Perlite
- 6. Roof Type- Built-up Asphalt 4ply Gravel

Test core #2. Low Point

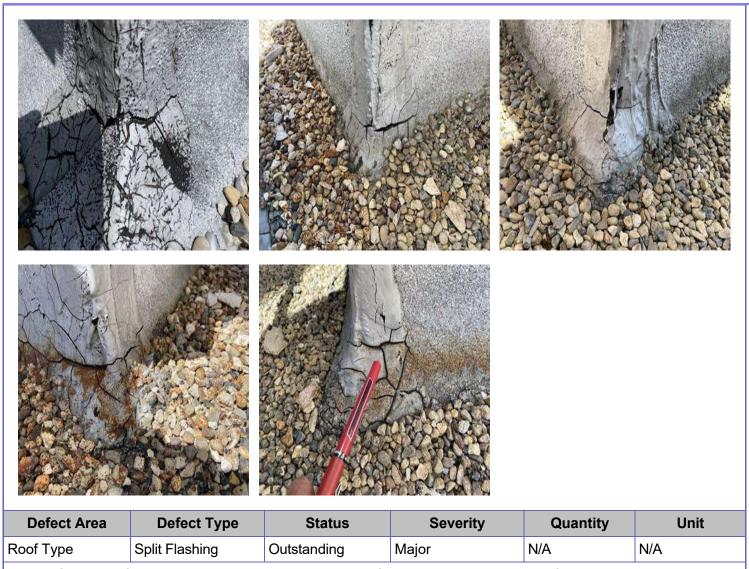
- 1. Roof Deck- Metal
- 2. Vapor Retarder- Hot Mopped 2 Ply Fiberglass
- 3. Insulation- 1.0 inch Polyisocyanurate
- 4. Insulation- 1.0 inch Perlite
- 5. Roof Type- Built-up Asphalt 4ply Gravel

Roof Defects Section : 9, 10, 41, 42, 49

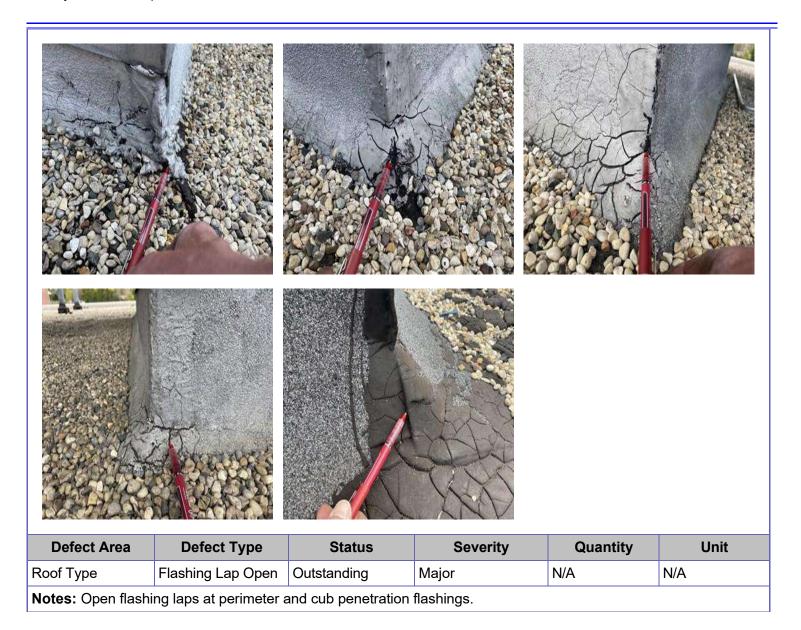
Prepared By: Interstate Roof Systems Consultants, Inc. Page: 144 Date: October 21, 2021

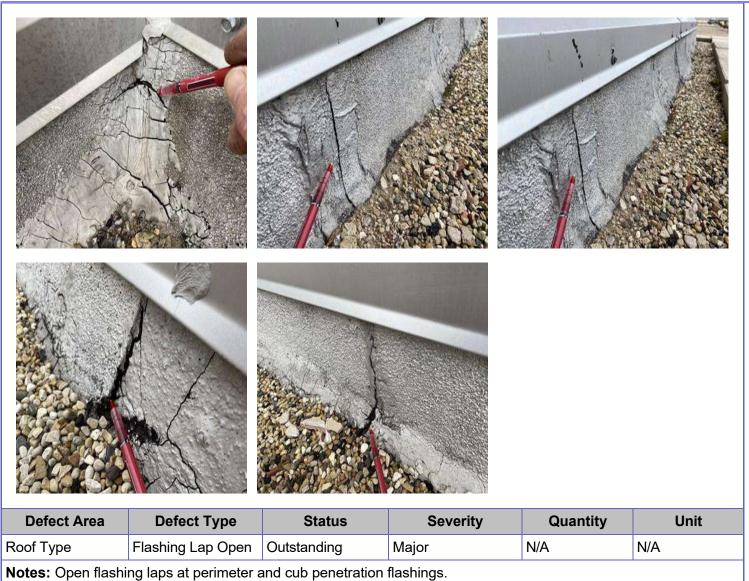
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Failed flashing	Outstanding	Major	N/A	N/A
Notes: Split/lifting p	perimeter flashings.			'	
Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Split Flashing	Outstanding	Major	N/A	N/A

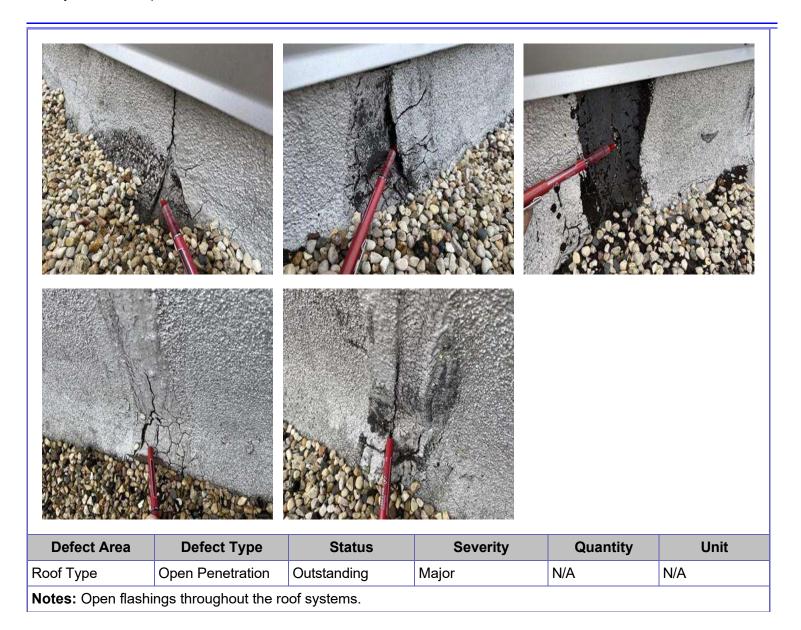
Notes: Split open flashings at curb corners and perimeter flashings throughout the roof system.

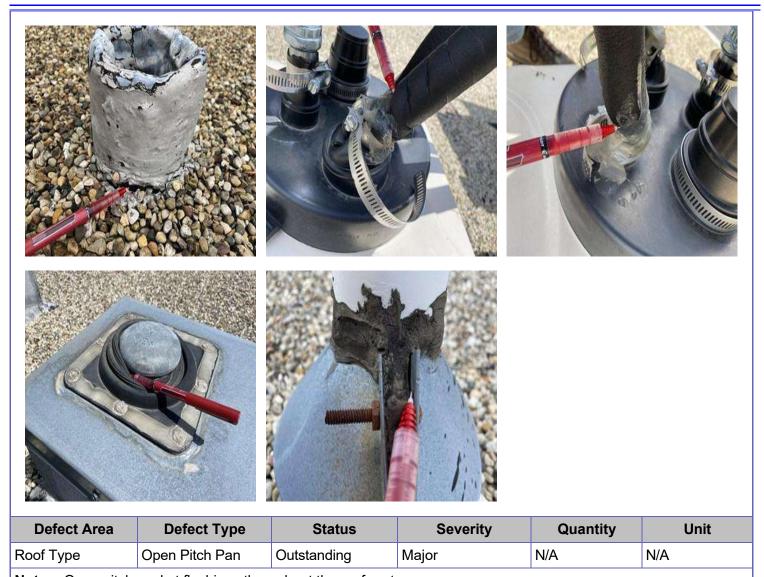


Notes: Split open flashings at curb corners and perimeter flashings throughout the roof system.







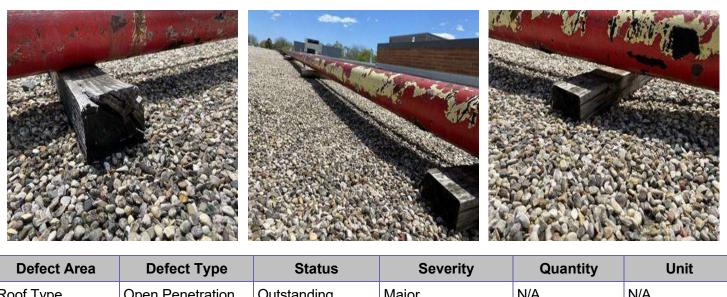


Notes: Open pitch pocket flashings throughout the roof systems.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Inadequate Detail	Outstanding	Major	N/A	N/A

Notes: Failing wood blocking support stand at large gas pipe. Pipe weight/height, causing supports to sink into the roof system.



Roof Type Open Penetration Outstanding Major N/A N/A

Notes: Open through wall penetrations.





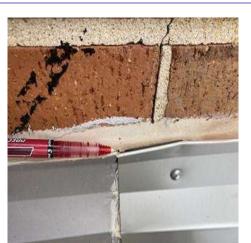


Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Caulk Failure	Outstanding	Major	N/A	N/A

Notes: Open failing caulk seals at perimeter metal counterflashings.











Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Abandoned rooftop penetration	Outstanding	Major	5	Ea.
Notes: Abandoned	I rail penetration, and	curb penetrations.			



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Abandoned rooftop penetration	Outstanding	Major	5	Ea.

Notes: Abandoned pitch pocket penetration, and curb penetrations.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Abandoned rooftop penetration	Outstanding	Major	6	Ea.

Notes: Abandoned curb penetrations.



Defect Area	Defect Type	Status	Severity	Quantity	Unit
Roof Type	Vegatation and drainage defect	Outstanding	Major	N/A	N/A

Notes: Plant life vegetation restricting drainage at gutter/downspouts,



Roof Inspections				Section: 9, 10	0, 41, 42, 49
Inspection Type	Start Date	End Date	Company	Inspector	Condition
Visual & Infrared Moisture Survey	06/01/2021	06/01/2021	Interstate Roof Systems Consultants, Inc.	Brian Barske	55

Notes: Overall this roof system is in "Fair" condition with a Roof Condition Index (RCI) rating of 55. IRSC observed the following defects, open pitch pocket flashings, open perimeter end lap flashings, split open flashings at curb corners and perimeter flashings, open caulk seals at metal counter flashings, metal curb flashings, and through wall penetrations. IRSC performed a infrared moisture survey and observed twelve (12) anomalies. IRSC performed test core samples at these locations and observed wet insulation. With repairs completed to defects observed it would increase the RCI to 65 "Good". With continued yearly preventive maintenance this roof should continue to perform the remainder of its life expectancy.

Roof Surveys			Section : 9, 10, 41, 42, 49		
Survey Type	Start Date	End Date	Company	Size	Unit

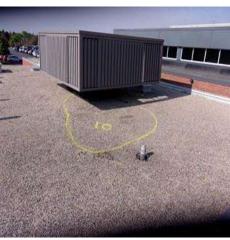
Facility Condition Repor	t				
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	119	sq. ft.
Notes: Anomaly (A#- No test cut made on a					
\$4.0 °F	31.5				
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants, Inc.	25	sq. ft.
Notes: Anomaly (A#- No test cut made on a					
54.1 °F	56.3 42.2				
Infared & Cut Tests	05/13/2021	05/13/2021	Interstate Roof Systems Consultants,	120	sq. ft.

Inc.

Notes: Anomaly (A#-10) 120 sqft

Test cut made showed moisture/water in roof system.







Infared & Cut Tests

05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc. 150

sq. ft.

Notes: Anomaly (A#-29) 150 sqft No test cut made on anomaly.





Infared & Cut Tests

05/13/2021

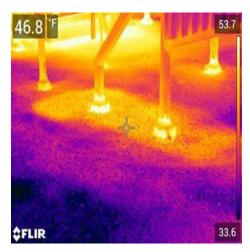
05/13/2021

Interstate Roof Systems Consultants, Inc.

35

sq. ft.

Notes: Anomaly (A#-30) 35 sqft No test cut made on anomaly.





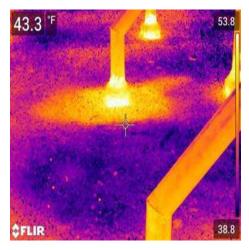
Infared & Cut Tests

05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc. sq. ft.

Notes: Anomaly (A#-31) 9 sqft No test cut made on anomaly.





Infared & Cut Tests

05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc.

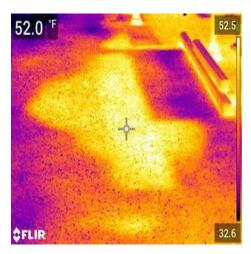
55

9

sq. ft.

Notes: Anomaly (A#-32) 55 sqft

Test cut made on anomaly was (Dry).







Infared & Cut Tests

05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc.

50

sq. ft.

Notes: Anomaly (A#-33) 50 sqft No test cut made on anomaly.





Infared & Cut Tests

05/13/2021

05/13/2021

Interstate Roof Systems Consultants, Inc.

95

sq. ft.

Notes: Anomaly (A#-34) 95 sqft

Test cut made showed moisture/water in roof system.





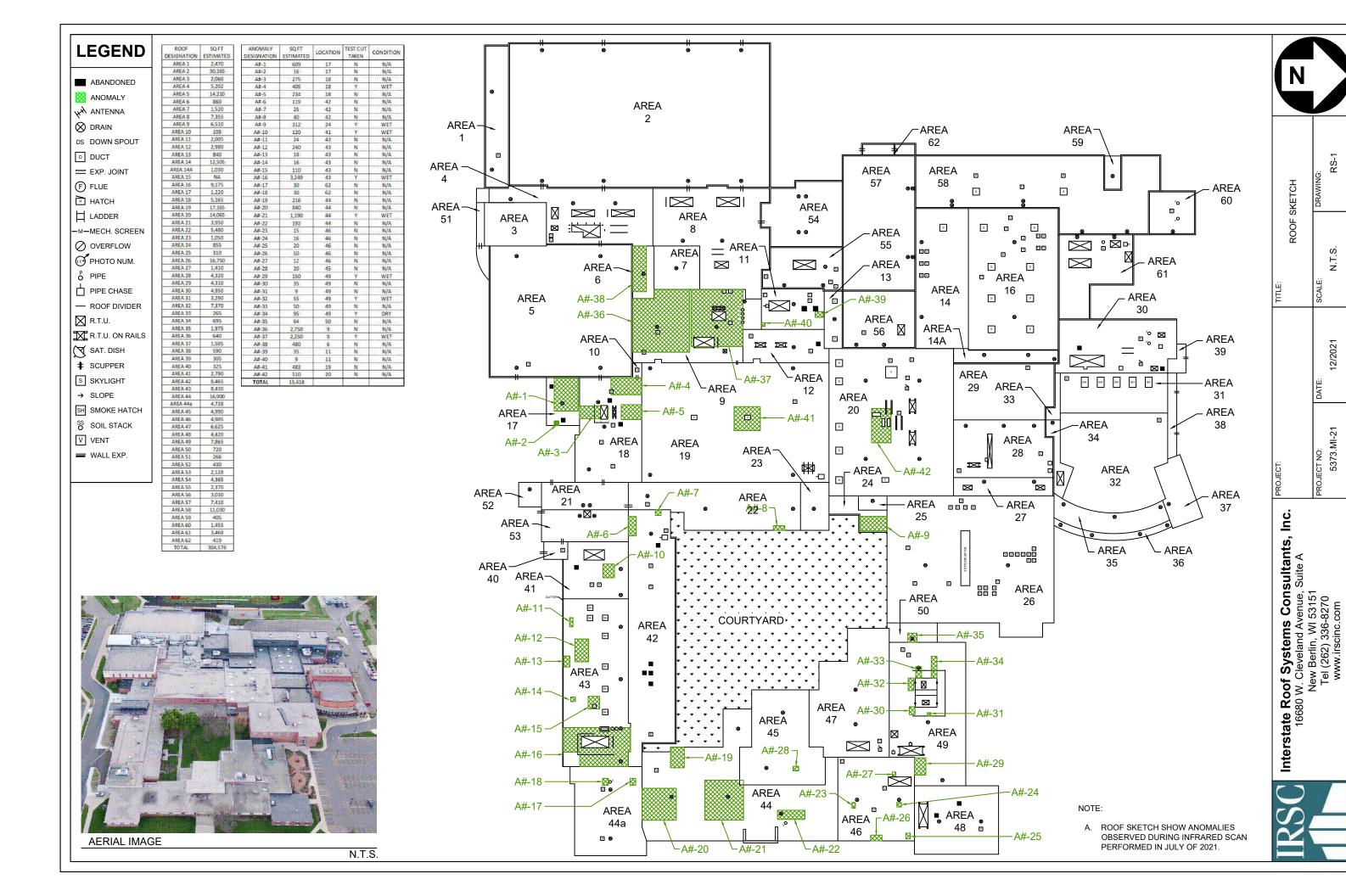


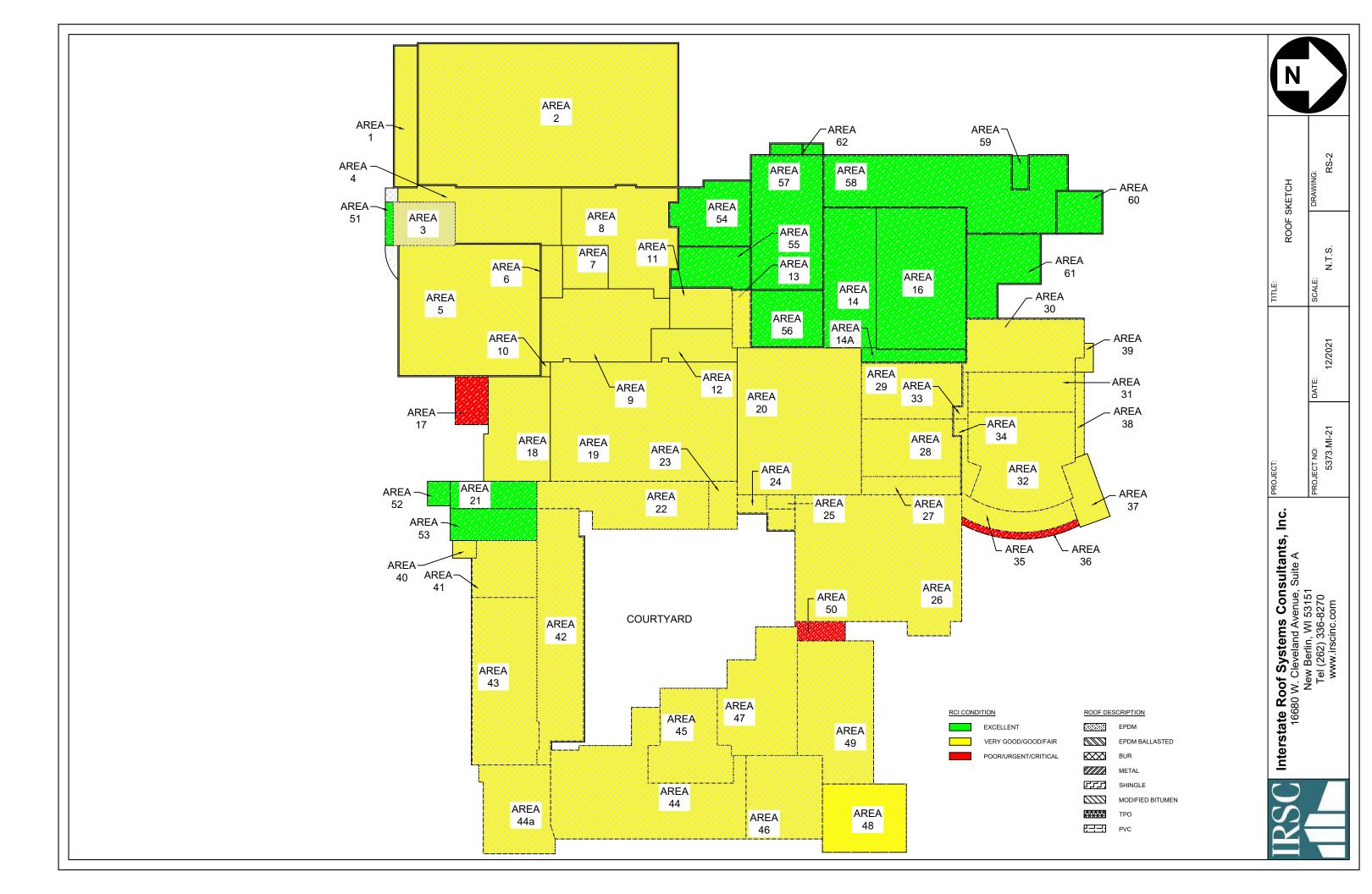
Roof Recommendations			Section : 9, 10, 41, 42, 49		
Budget Year	Activity Type	Allocation Type	Status	Budget Cost	
2021	Preventive Maintenance	Expense Budget	Recommended	\$20,000.00	

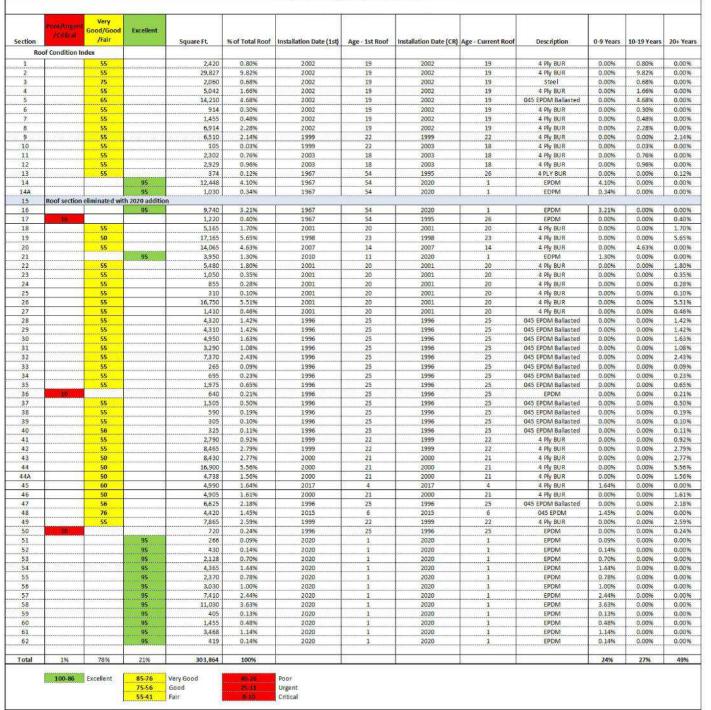
Notes: Recommended Repairs for 2021.

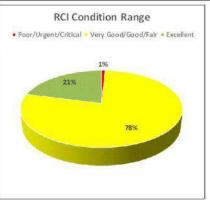
- -Repair split open flashings at curb corners and perimeter flashings.
- -Repair open pitch pocket flashings.
- -Repair open flashing laps at perimeter flashings and scupper flashings.
- -Repair failed perimeter flashings.
- -Repair open failing caulk seals at perimeter metal counterflashings.
- -Remove electrical conduit pitch pocket flashing.
- -Remove plant life vegetation from the roof system.
- -Remove and replace failing wood blocking supports.
- -Remove and replace wet insulation observed, approximately; 5,698 SqFt.

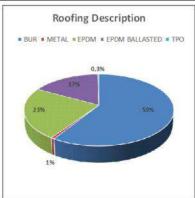
Preventive Maintenance	Expense Budget	Recommended	\$1,500.00
annual preventive mainter	nance.		
Preventive Maintenance	Expense Budget	Recommended	\$1,500.00
annual preventive mainter	nance.		
Preventive Maintenance	Expense Budget	Recommended	\$1,500.00
annual preventive mainter	nance.		
Preventive Maintenance	Expense Budget	Recommended	\$1,500.00
	Maintenance Preventive maintent Preventive maintent Maintenance Preventive maintent Preventive maintent Preventive maintent Preventive maintent Preventive maintent Preventive maintent Preventive	Maintenance Annual preventive maintenance. Preventive Maintenance Annual preventive maintenance. Preventive Expense Budget Maintenance Expense Budget Annual preventive maintenance. Preventive Expense Budget Annual preventive maintenance. Preventive Expense Budget	Maintenance Annual preventive maintenance. Preventive Maintenance Annual preventive maintenance. Preventive Expense Budget Recommended Annual preventive maintenance. Expense Budget Recommended Annual preventive maintenance. Preventive Expense Budget Recommended Annual preventive maintenance. Preventive Expense Budget Recommended

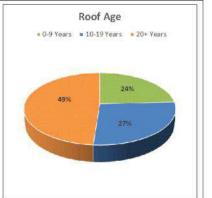


















SKETCH

ROOF

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12/2021

ECT NO: 5373.MI-21